

**ADDENDUM # 02**

TO: ALL BIDDERS

RE: CHANGES TO PROJECT MANUAL AND DRAWINGS DATED JUNE 6, 2022

DATE: JULY 25, 2022

SUBJECT: COLUMBIA HOUSING AUTHORITY  
COLUMBIA, SC  
ARCHITECT PROJECT #20-12740

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PLEASE ATTACH THIS ADDENDUM TO THE PROJECT MANUAL FOR THIS PROJECT AND KINDLY TAKE SAME INTO CONSIDERATION IN PREPARING YOUR CONSTRUCTION COST BREAKDOWN.

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1919 ARCHITECTS



RONALD G. BILLY JR.

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THIS ADDENDUM CONSISTS OF 2 (TWO) PAGES PLUS ATTACHMENTS

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**ADDENDUM # 02**

**CLARIFICATIONS**

1. Q: "We are going with Luxury Vinyl Plank Tile, not resilient which you sent the spec for. So we need specs for LVP"  
A: The flooring spec currently calls for vinyl plank.
2. Q: "Smooth Ceilings – scrape or cover with 1/4" drywall"  
A: General note has been added to all unit plan sheets to call for smooth ceiling finishes.
3. Q: "Only 1 Tub per household – Change master tub to walk in shower."  
A: Tubs that apply have been changed to walk-in shower on unit plan sheets as well as corresponding interior elevation sheets.
4. Q: "Closets – replace with ventilated shelving and install new rod."  
A: Closets on drawings already call for "remove and replace" and the spec specifies wire, ventilated shelving.
5. Q: "All doors must be hinged"  
A: Unit plan Bi-Fold doors have been changed to hinged doors. See attached unit plans.
6. Q: "Are we replacing door hardware?"  
A: Yes (except most of Rosewood homes) see attached revised floor plans and door schedule.
7. Q: "Do we have anything with replacing washer and dryer connections and installing new dryer vents?"  
A: Yes, these connections will be new only at unit(s) where the floor is being raised at. See attached unit plans.

**CHANGES TO THE PROJECT MANUAL DATED JUNE 6, 2022:**

1. Notice to Bidders delete in its entirety and replace with the attached Notice to Bidders.

**CHANGES TO THE DRAWINGS DATED JUNE, 6, 2022:**

1. REMOVE THE FOLLOWING SHEETS IN THE SHEET SET IN THEIR ENTIRETY AND REPLACE WITH THE SAME NUMBERED SHEET ATTACHED TO THIS ADDENDUM:
  - G000 COVER
  - A100 26 THISTLE
  - A100.1 INTERIOR ELEVATIONS

- A101 41 SALVIA
- A101.1 INTERIOR ELEVATIONS
- A102 109 PEACHTREE
- A102.1 INTERIOR ELEVATIONS
- A103 218 BARGER
- A103.1 INTERIOR ELEVATIONS
- A104 817 RIVERWALK
- A104.1 INTERIOR ELEVATIONS
- A105 1620 HOLLINGSLED
- A106 2317 HILLBECK
- A106.1 INTERIOR ELEVATIONS
- A107 4232 DONAVAN
- A108 4316 LEEDS
- A109 4817 FAULKLAND
- A109.1 INTERIOR ELEVATIONS
- A110 ROSEWOOD HILLS UNITS
- A200 DETAILS
- A201 DOOR SCHEDULE
- A201.2 FIXTURE SCHEDULES

2. REMOVE THE FOLLOWING SHEETS IN THE SHEET SET IN THEIR ENTIRETY:

- A110.1 (ROSEWOOD) INTERIOR ELEVATIONS
- A110.2 (ROSEWOOD) INTERIOR ELEVATIONS

**END ADDENDUM # 02**

**COLUMBIA HOUSING AUTHORITY  
NOTICE TO BIDDERS**

Columbia Housing Authority will receive sealed bids for Project named Columbia Scattered Site Rehab Phase I.

Columbia, South Carolina

Bids will be received until 1:00 p.m. local time on the 17th day of August 2022 at the offices of Columbia Housing Authority located at 1917 Harden Street, Columbia, South Carolina, 29204. There will not be any in person bid opening. No in person drop-offs of bids.

Contractor questions must be received by August 9<sup>th</sup> and answers by August 11<sup>th</sup>.

Bidders to obtain bid documents by contacting the architect at [info@1919architects.com](mailto:info@1919architects.com) or the Columbia Housing Authority.

**Contractors interested in viewing video tours of each home included in this Request for Proposals should email [jgibbs@columbiahousingsc.org](mailto:jgibbs@columbiahousingsc.org) for additional information.**

Bids will be e-mailed to [jgibbs@columbiahousingsc.org](mailto:jgibbs@columbiahousingsc.org) or mail a thumb drive to 1917 Harden Attn: Juila Gibbs and clearly marked "**Columbia SFH Rehab Phase I**". Please mark mailed envelopes with Columbia SFH Rehab Phase 1.

Bid Bond executed by the bidder and acceptable sureties in an amount of not less than 5% of the base bid shall be submitted with each bid. Failure to submit an acceptable bid bond with the bid will result in the rejection of the bid.

Attention is called to the provisions for Equal Employment Opportunity and payment of not less than the minimum salaries and wages set forth in the bid documents. This project will require compliance to the Davis-Bacon Wage Decisions and the Section 3 requirements as listed in the contract documents.

All Contractors who are awarded construction related contracts must document Affirmative Action to ensure Equal Opportunity in Employment. This documentation is subject to review by the Regional Office of the Department of Labor. As a part of normal contract administration, Columbia Housing Authority is responsible for determining the Contractor's compliance with the Equal Employment Opportunity Clause and Affirmative Action Requirements as well as the Contractor's performance in executing those requirements.

All MBE/DBE/WBE Contractors, Subcontractors and Suppliers are encouraged to participate on Columbia Housing Authority projects and the housing authority has established a 30% goal.

Columbia Housing Authority reserves the right to accept or reject any and all bids and to waive any and all technicalities.

No bid shall be withdrawn for a period of (90) calendar days subsequent to the opening of the bids without the written consent of Columbia Housing Authority.

**COLUMBIA HOUSING AUTHORITY**

# (GROUP 1) COLUMBIA HOUSING AUTHORITY SCATTERED SITE REHAB - ZONE 1



## PROJECT ADDRESS

**OWNER** COLUMBIA HOUSING AUTHORITY  
1917 HARDEN ST.  
COLUMBIA, SOUTH CAROLINA, 29204-1117  
CONTACT: (803)254-3886

**ARCHITECT** 1919 ARCHITECTS, P.C.  
4000 MORSAY DRIVE  
ROCKFORD, IL 61107  
RONALD G. BILLY, JR., NCARB, LEED AP

**ALTERNATE BID:**  
REMOVE AND REPLACE EXISTING DISHWASHERS  
IN THE FOLLOWING UNITS (8 UNITS):  
41 SALVIA CT.  
108 ROSEWOOD HILLS DR.  
136 ROSEWOOD HILLS DR.  
164 ROSEWOOD HILLS DR.  
168 ROSEWOOD HILLS DR.  
176 ROSEWOOD HILLS DR.  
433 S. GREGG ST. (SIMILAR)  
530 S. BULL ST. (SIMILAR)

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## SHEET INDEX

**GENERAL**  
G000 COVER SHEET  
G100 GENERAL NOTES AND PROJECT STANDARDS  
G200 SITE LOCATIONS

**ARCHITECTURAL**  
A100 26 THISTLE  
A100.1 INTERIOR ELEVATIONS  
A101 41 SALVIA  
A101.1 INTERIOR ELEVATIONS  
A102 104 PEACHTREE  
A102.1 INTERIOR ELEVATIONS  
A103 218 BARGER  
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A110 ROSEWOOD HILLS UNITS  
A110.1 INTERIOR ELEVATIONS  
A110.2 INTERIOR ELEVATIONS  
A200 DETAILS  
A201 DOOR SCHEDULE  
A201.1 ROOM FINISH SCHEDULE  
A201.2 FIXTURE SCHEDULES

## BUILDING CODES:

REQUIREMENTS BASED ON THE FOLLOWING:  
IRC-2021

USE GROUP:  
R-3 RESIDENTIAL

BUILDING CONSTRUCTION TYPE:  
TYPE V UNPROTECTED

## STATEMENT OF COMPLIANCE

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR  
UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, COMPLY  
WITH ALL APPLICABLE CODES.

Signed: \_\_\_\_\_  
Architect/Engineer

SOUTH CAROLINA REGISTRATION NO.: 8927

Exp. Date: 11/30/22

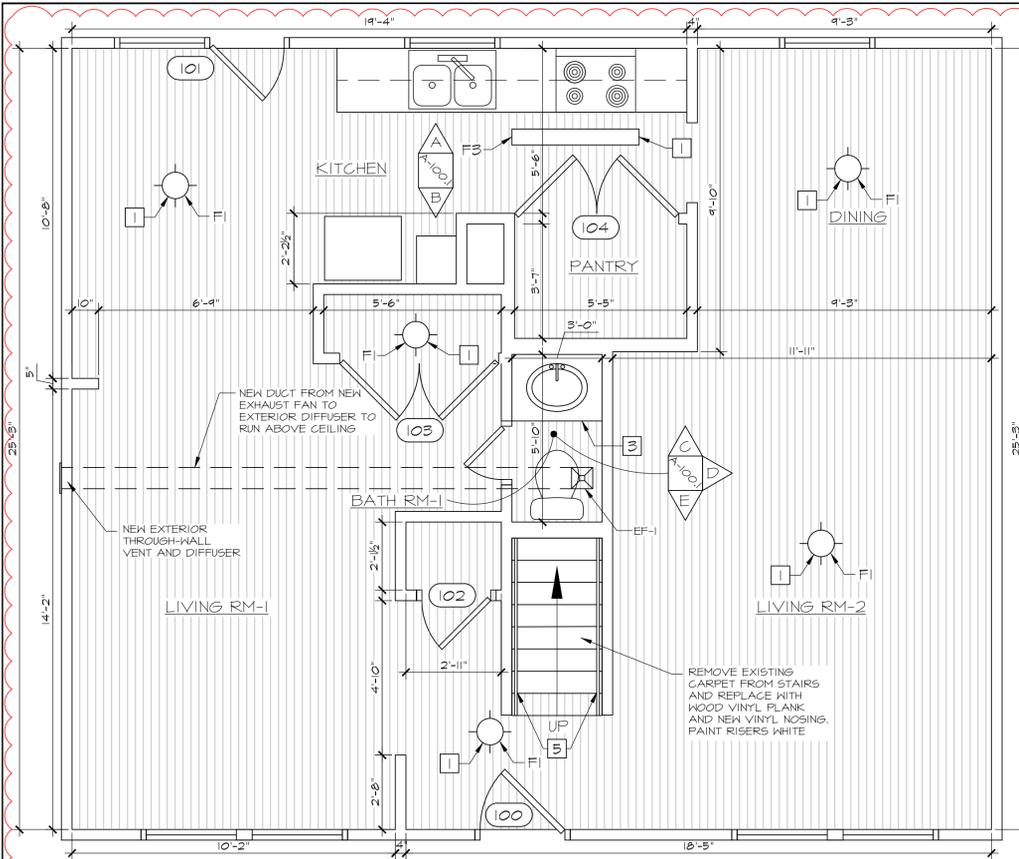
PROFESSIONAL DESIGN FIRM NO.: 184.003452

1919 Architects  
4000 Morsay Drive  
Rockford, IL 61107  
(615) 228-8222  
www.1919architects.com

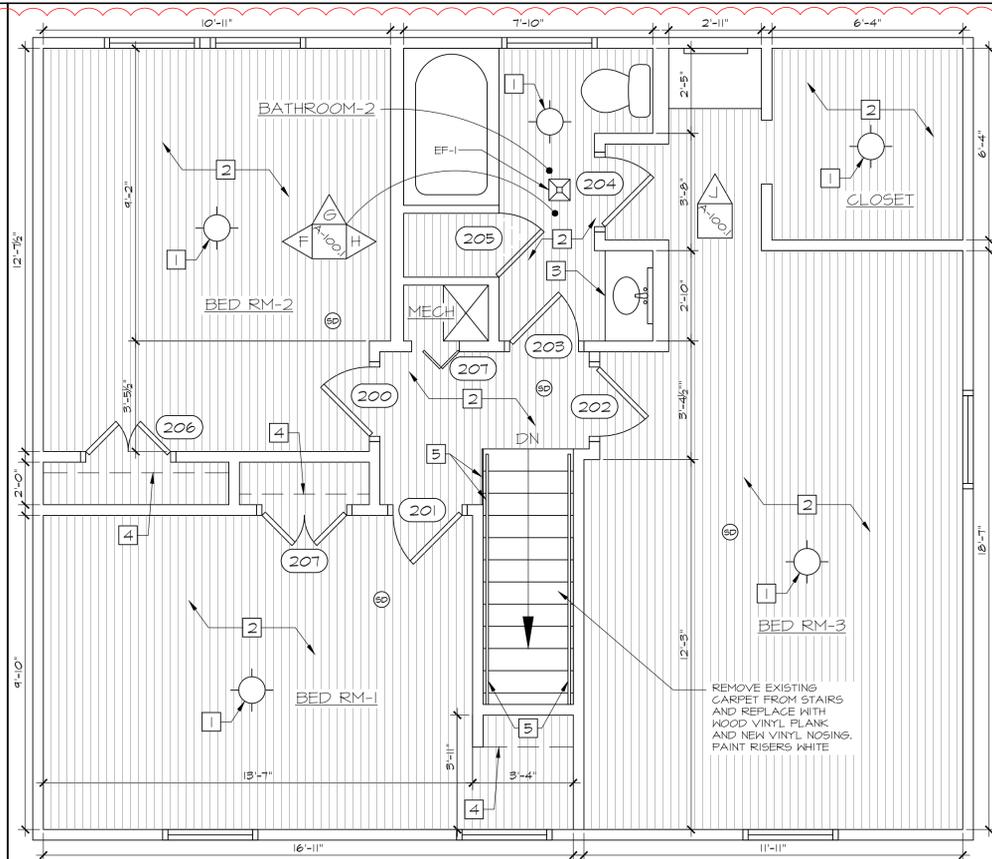
ARCHITECT	BIDDING CO.
OWNER	CONTRACTOR

COLUMBIA H.A. SCATTERED SITE REHAB  
(ZONE 1)  
20-12140  
06-06-2022  
Date  
JMK  
Appr.  
RGE

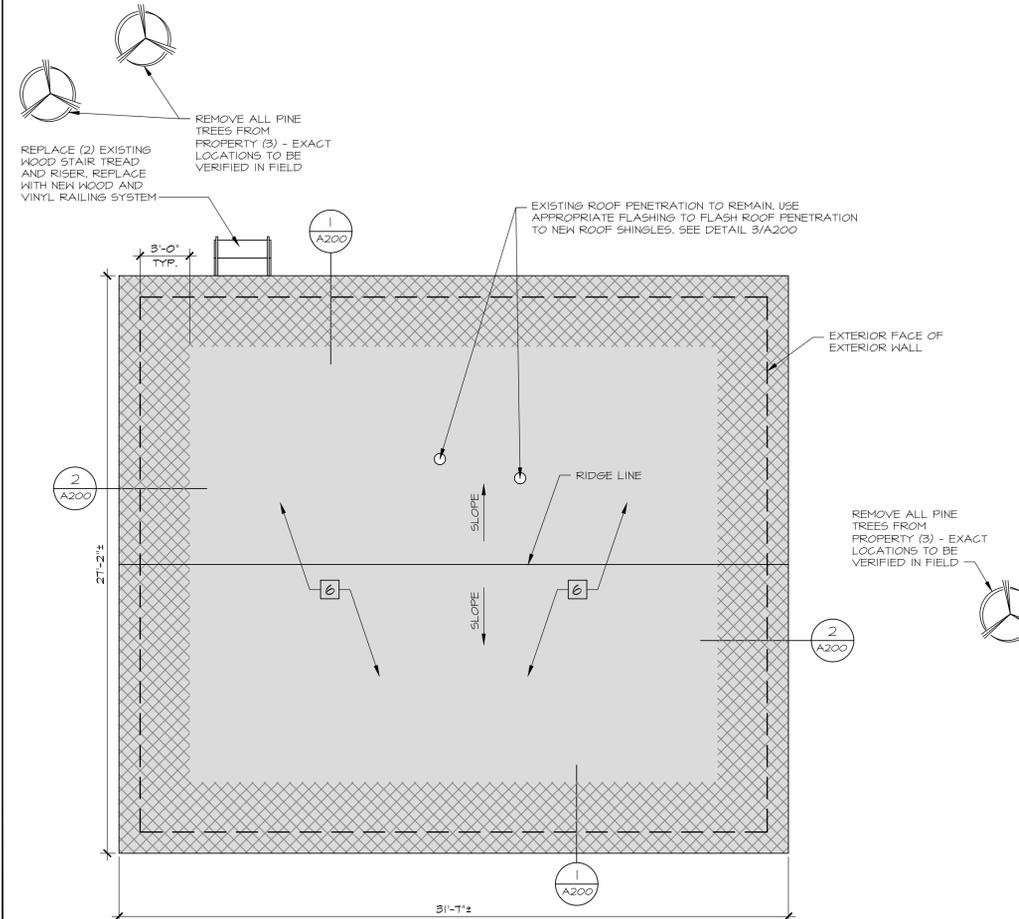
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Sheet No.	G000



**1** LOWER LEVEL FLOOR PLAN  
SCALE: 3/8" = 1'-0"



**2** UPPER LEVEL FLOOR PLAN  
SCALE: 3/8" = 1'-0"



**3** SITE AND ROOF PLAN  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES** (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON 6100.
- ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD.
- ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
- ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
- ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
- ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
- ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O.).
- ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
- REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
- ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
- ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED. NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/2" THK. GYP BOARD, FRIMED AND PAINTED. FINISH TO BE SMOOTH.

**KEYNOTES** (THIS SHEET ONLY)

- FLOOR PLAN:**
- SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
  - SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
  - REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.
  - CLEAN, PREPARE, PRIME AND PAINT ENTIRE EXISTING HANDRAIL OR GUARDRAIL AT THIS LOCATION. TAKE CARE NOT TO DAMAGE EXISTING FINISHES.
  - REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.

**LEGEND OF SYMBOLS**

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17

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4000 Moskey Drive  
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**COLUMBIA H.A. SCATTERED SITE REHAB**

ARCHITECT: 1919 ARCHITECTS  
OWNER: COLUMBIA H.A. SCATTERED SITE REHAB  
CONTRACTOR: RGE  
DATE: 06-06-2022  
PROJECT NUMBER: 20-12740

Rev. Date: 7/25/22

Sheet No.: A100

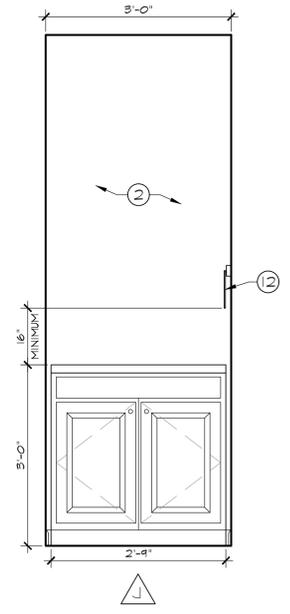
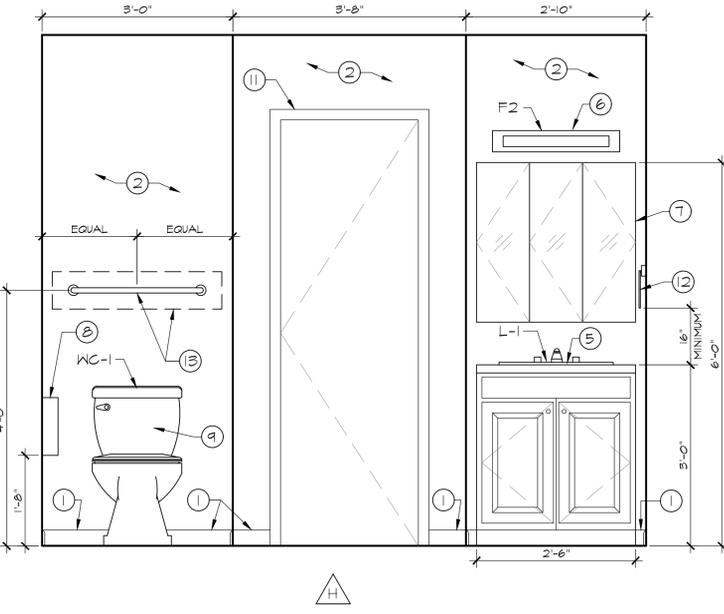
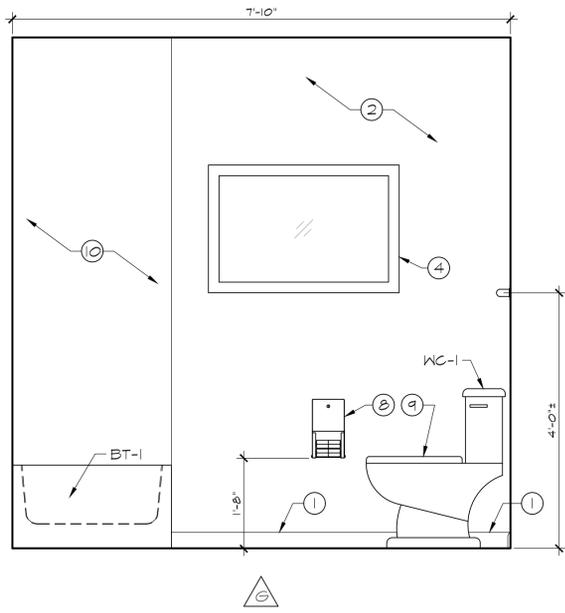
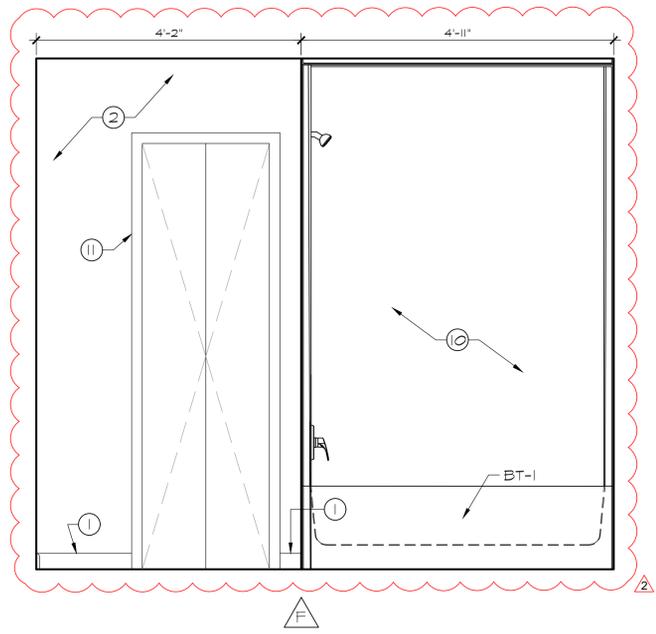
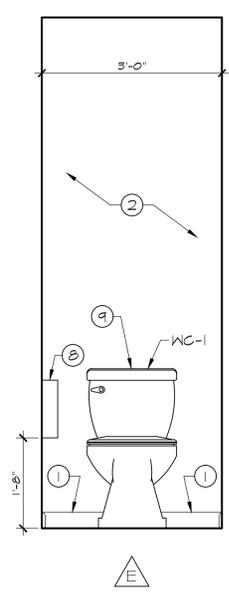
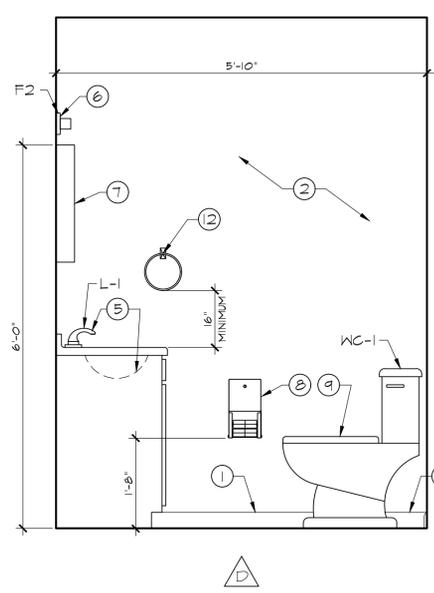
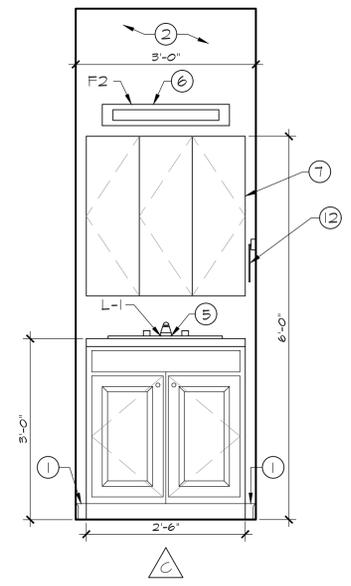
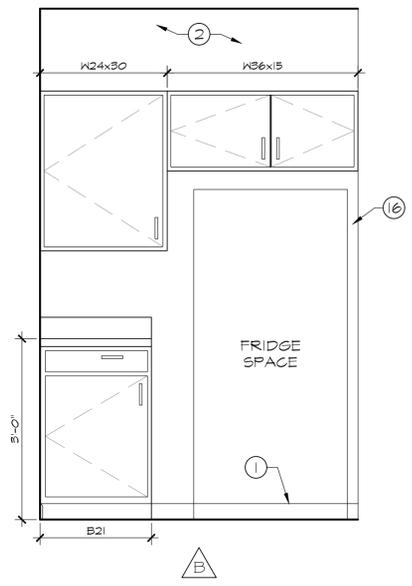
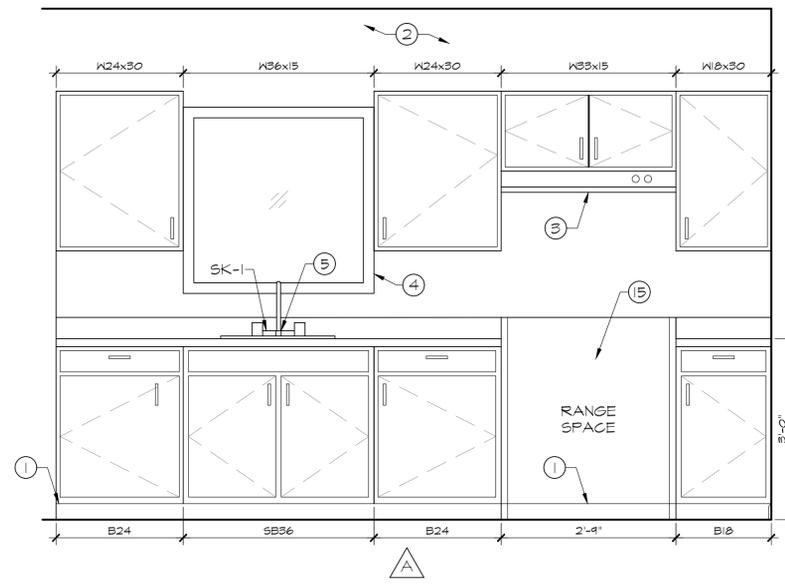
GENERAL NOTES (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON G100.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
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- ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

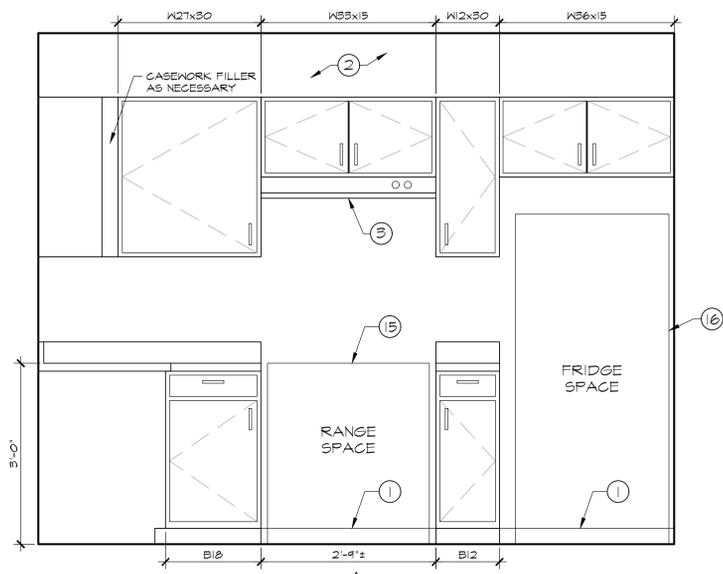
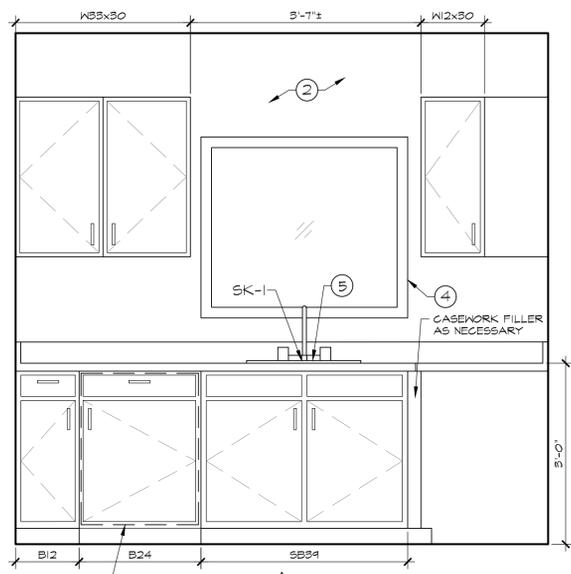
KEYNOTES (THIS SHEET ONLY)

INTERIOR ELEVATIONS

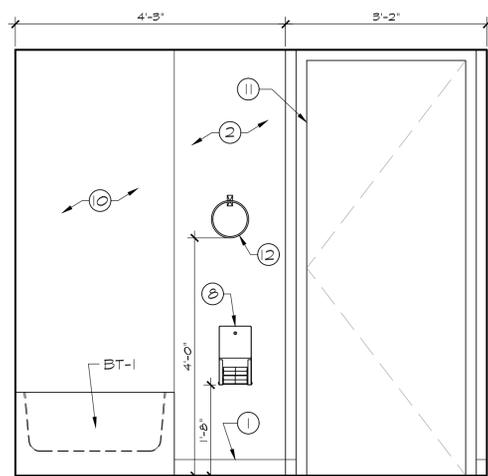
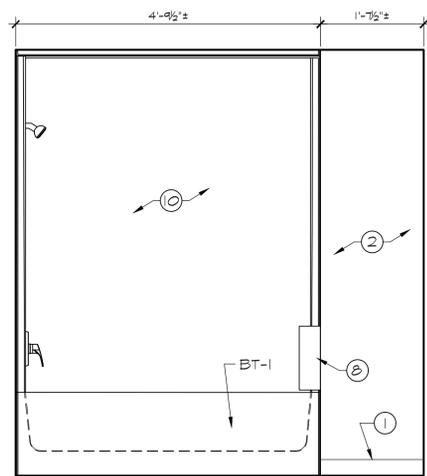
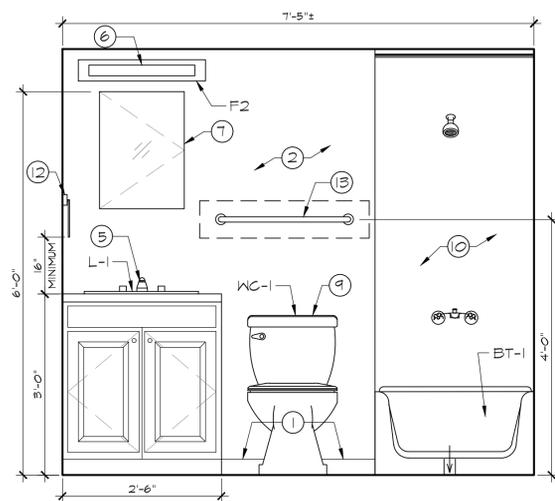
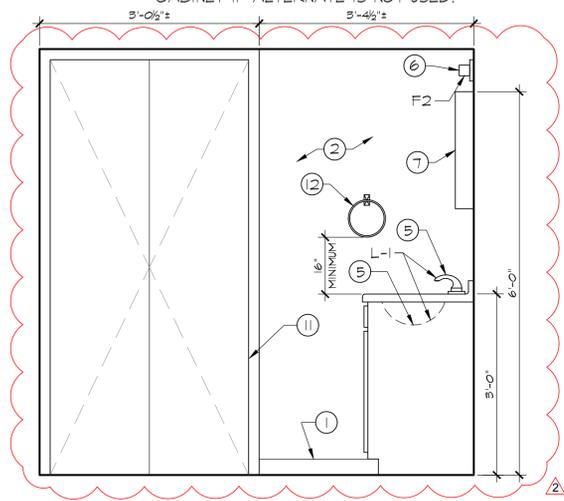
- EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
- PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON A201.1.
- REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
- EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.
- REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
- NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
- REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.
- NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.
- NEW 2'-0" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
- NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.
- RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.
- FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.







PER ALTERNATE BID - REMOVE AND REPLACE EXISTING DISHWASHER. PROVIDE B24 BASE CABINET IF ALTERNATE IS NOT USED.



### GENERAL NOTES (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON 6100.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
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- ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

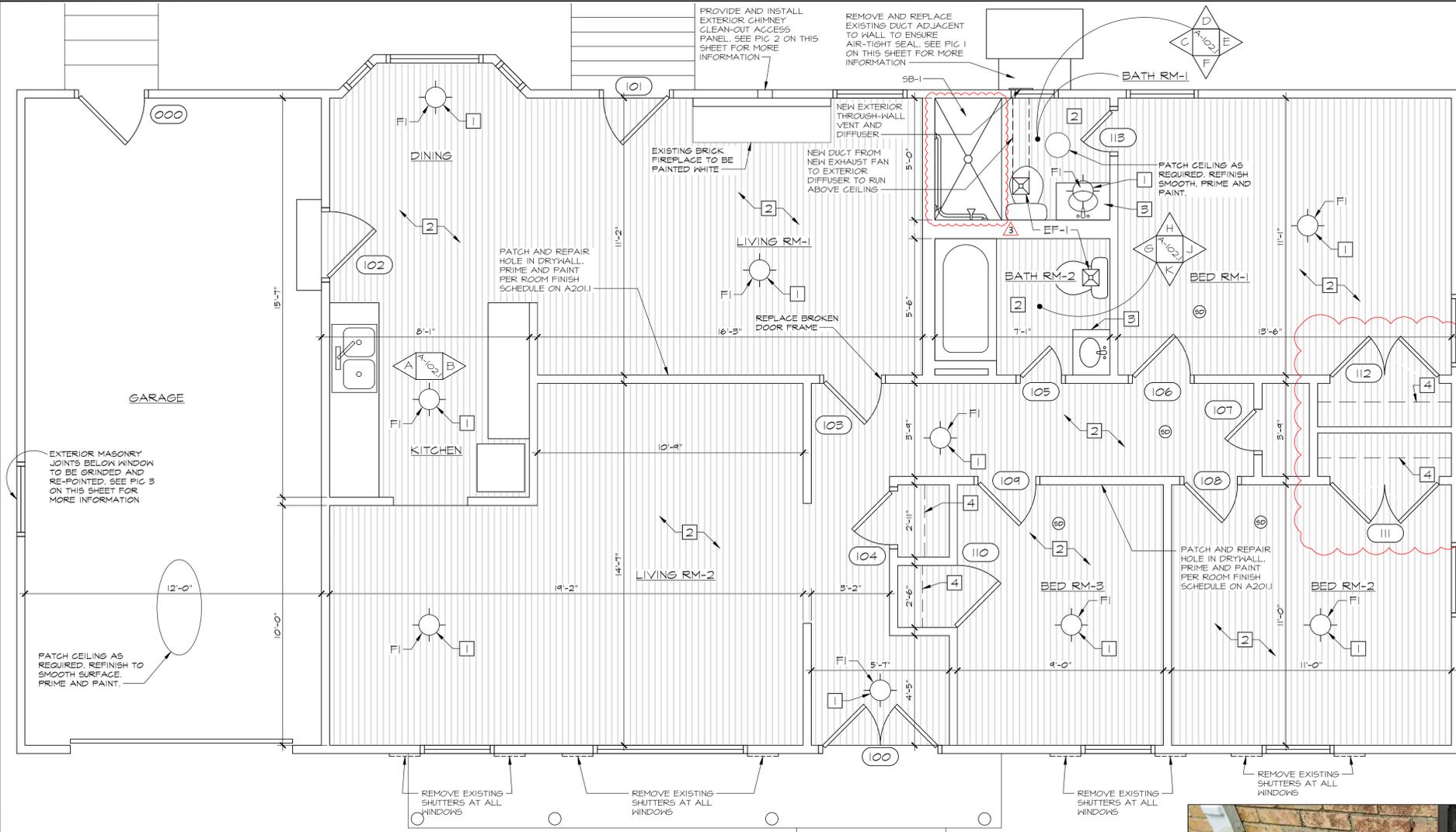
### KEYNOTES (THIS SHEET ONLY)

- INTERIOR ELEVATIONS
- EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
  - PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON 201.1.
  - REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
  - EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.
  - REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
  - NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
  - REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.
  - NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.
  - NEW 2'-0" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
  - NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.
  - RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.
  - FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.

ARCHITECT	OWNER	CONTRACTOR	BIDDING CO.
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COLUMBIA H.A. SCATTERED SITE REHAB	ZONE 1)	RGE	JMK
41 SALVIA CT. COLUMBIA, SC.			
20-12740	06-06-2022		
Project Number	Date		

Rev. Date	7/25/22
Sheet No.	A101.1



\*GRAVEL SPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:

- 3/4" CELLULAR PVC DOOR WITH NEW DEADBOLT
- BRICKMOULD
- STAINLESS STEEL HARDWARE
- 3/4" JAMB AND HEAD DEPTH
- OVERLAY CONFIGURATION
- SIZE TO BE FIELD VERIFIED

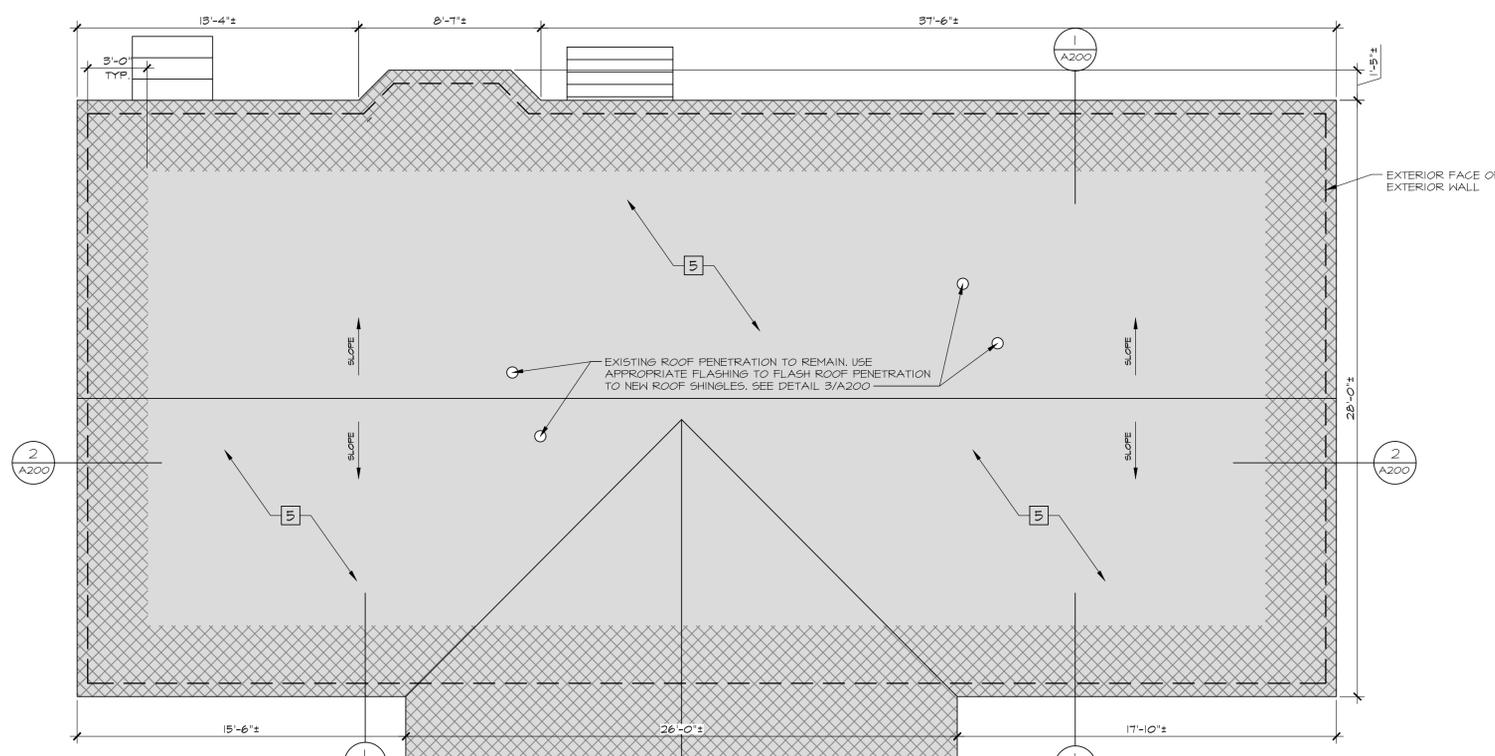
AS MANUFACTURED BY CURB APPEAL PRODUCTS  
 H: (410) 646-8088  
 P: (410) 646-8088

### GENERAL NOTES (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON 6100.
- ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD.
- ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
- ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
- ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
- ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
- ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O.).
- ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
- REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
- ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
- ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPPED, PREPARED, PRIMED AND PAINTED. NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID No. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/4" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.

### 1 FLOOR PLAN

SCALE: 3/8" = 1'-0"



### 2 ROOF PLAN

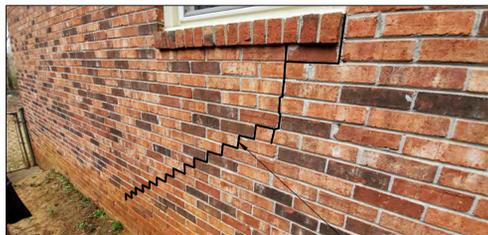
SCALE: 1/4" = 1'-0"



PIC 1  
SCALE: N.T.S.



PIC 2  
SCALE: N.T.S.



PIC 3  
SCALE: N.T.S.

### KEYNOTES (THIS SHEET ONLY)

- FLOOR PLAN:
- SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
  - SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
  - REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.
  - REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.

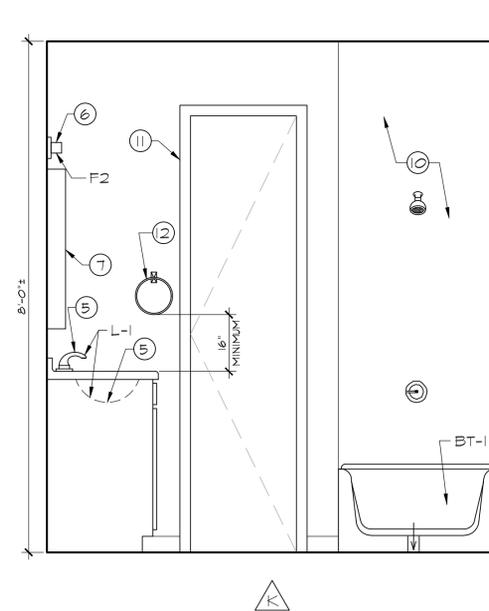
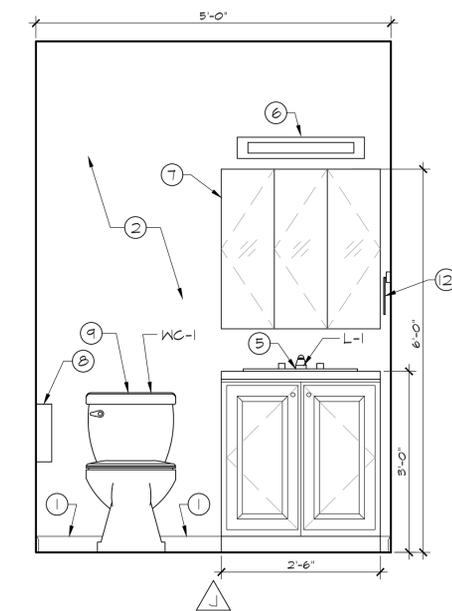
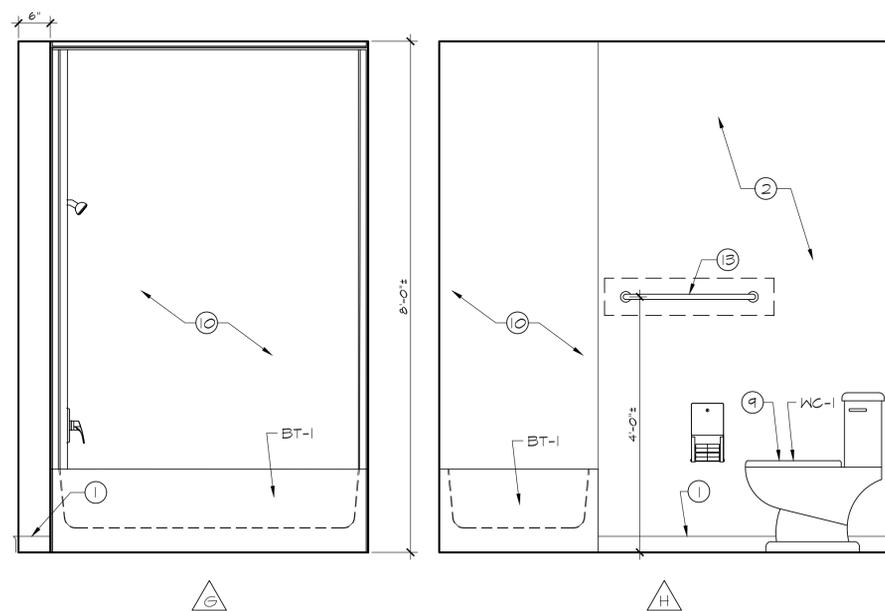
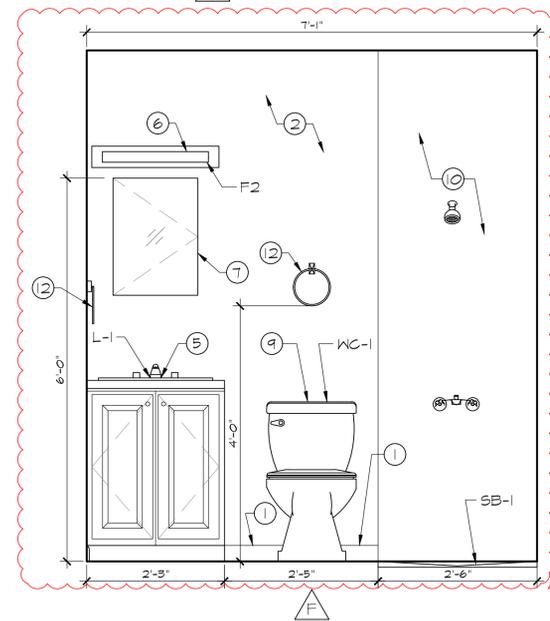
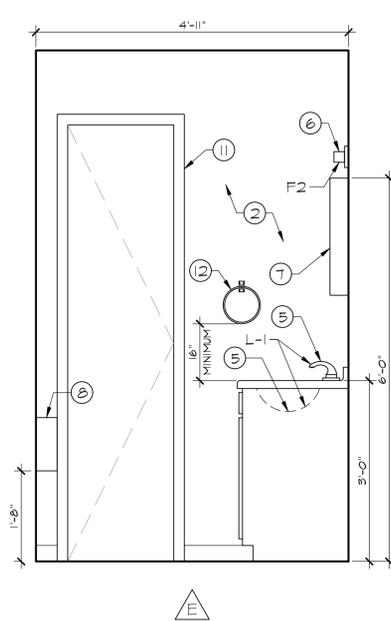
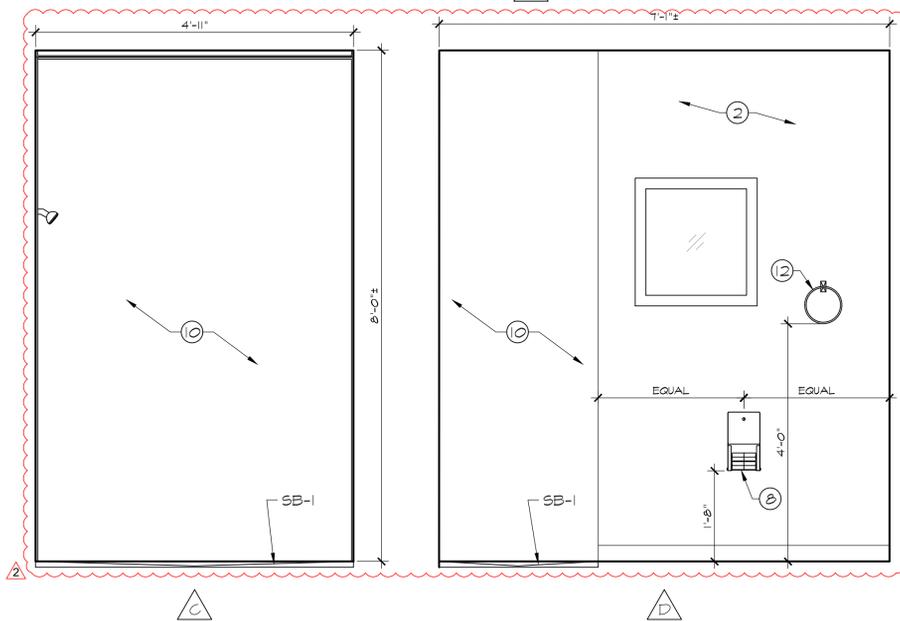
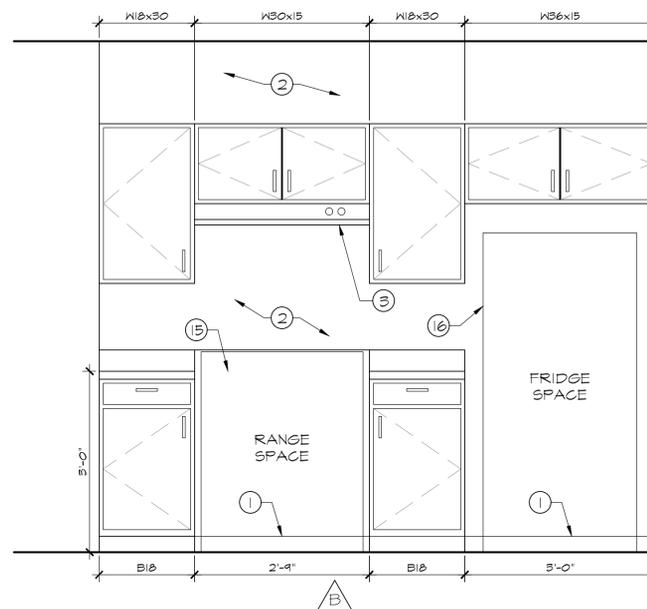
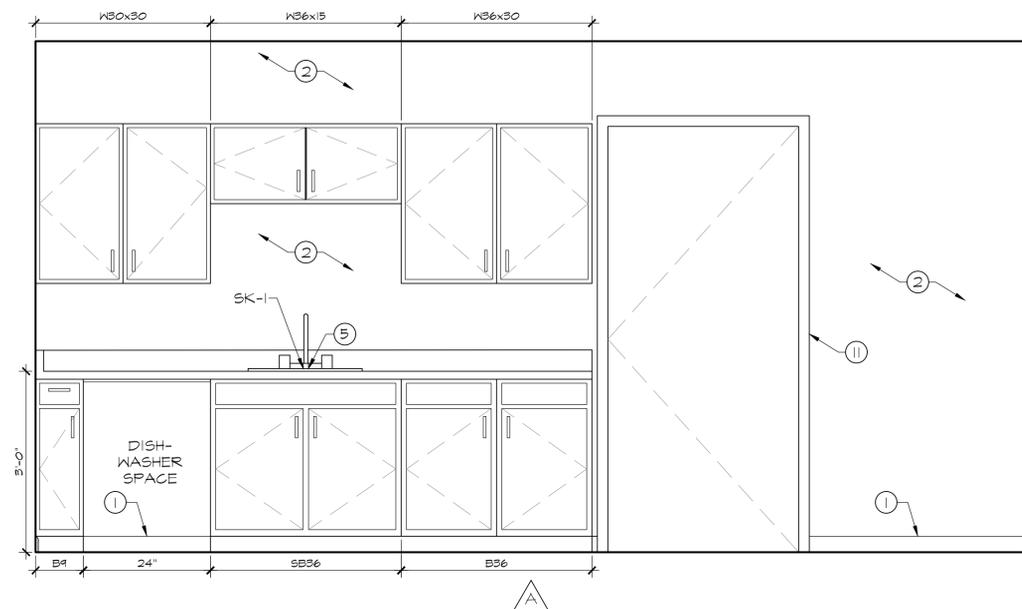
### LEGEND OF SYMBOLS

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17

MASONRY POINTING DETAILS LOCATED ON SHEET A200 (DETAILS)

**1919 Architects**  
 4000 Mosley Drive  
 Rockford, IL 61107  
 (815) 223-8222  
 www.1919architects.com

COLUMBIA H.A. SCATTERED SITE REHAB  
 (ZONE 1)  
 109 PEACHTREE DR., COLUMBIA, SC.  
 Project Number: 20-12740 Date: 06-06-2022  
 Rev. Date: 7/25/22  
 Architect: JMK  
 Owner: JMK  
 Contractor: JMK  
 Bidding Co.: JMK  
 Sheet No.: A102



**GENERAL NOTES** (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON G100.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

**KEYNOTES** (THIS SHEET ONLY)

- INTERIOR ELEVATIONS
- EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
  - PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON A201.1.
  - REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
  - EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.
  - REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
  - NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
  - REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.
  - NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.
  - NEW 2'-0" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
  - NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.
  - RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.
  - FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.

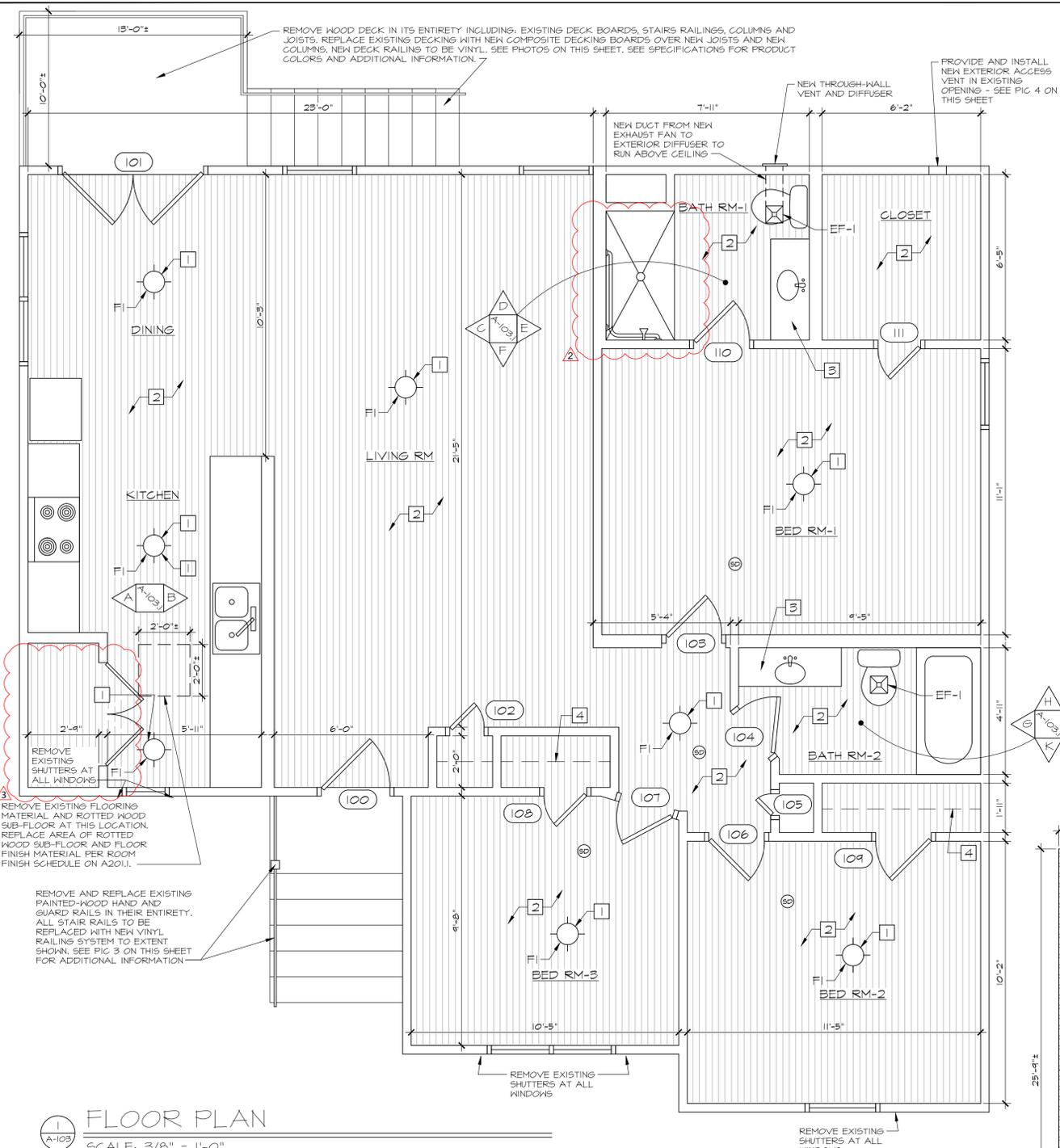
**1919 Architects**  
4000 Mesary Drive  
Rockford, IL 61107  
(815) 228-8222  
www.1919architects.com

COLUMBIA H.A. SCATTERED SITE REHAB  
109 PEACHTREE DR. COLUMBIA, SC.  
20-12740  
Project Number

ARCHITECT	OWNER	CONTRACTOR	BIDDING CO.
		RGE	JMK

Rev. Date: 7/25/22  
Date: 06-06-2023  
Appr.

Interior Elevations  
Sheet No. A102.1



PIC 1  
SCALE: N.T.S.

REMOVE WOOD DECK IN ITS ENTIRETY INCLUDING: EXISTING DECK BOARDS, STAIRS RAILINGS, COLUMNS AND JOISTS. REPLACE EXISTING DECKING WITH NEW COMPOSITE DECKING BOARDS OVER NEW JOISTS AND NEW COLUMNS. NEW DECK RAILING TO BE VINYL. SEE PHOTOS ON THIS SHEET. SEE SPECIFICATIONS FOR PRODUCT COLORS AND ADDITIONAL INFORMATION.



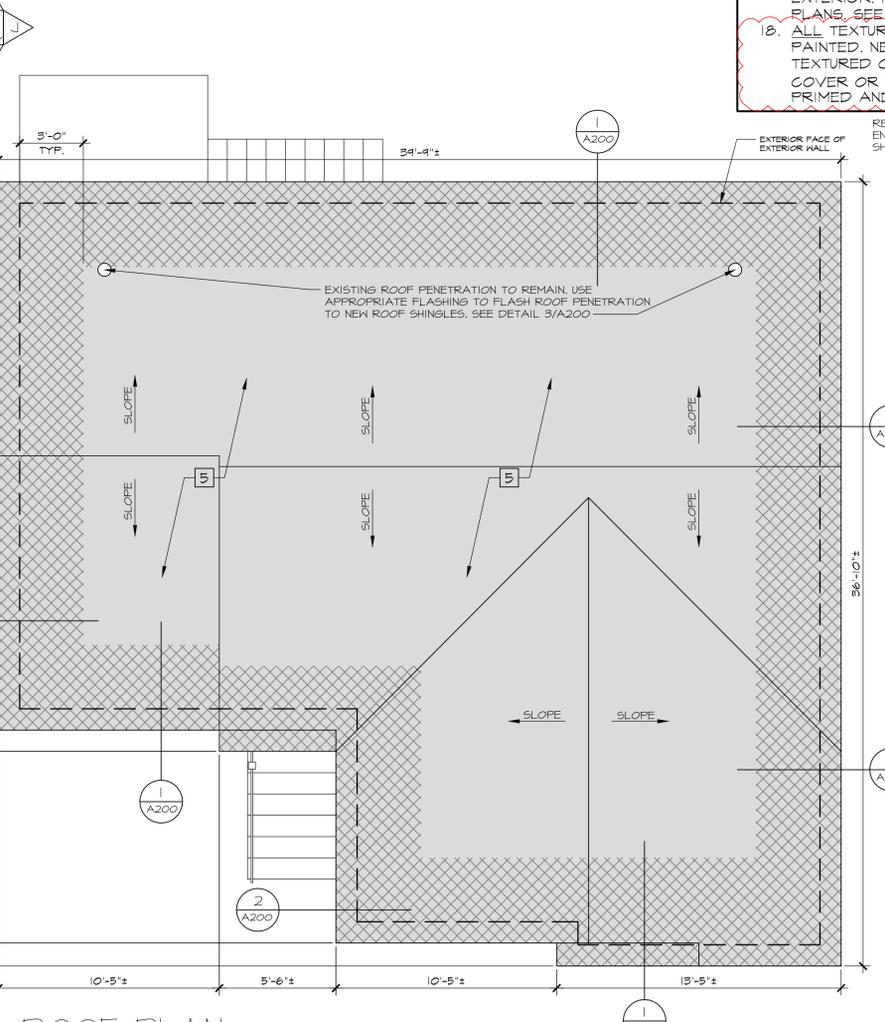
PIC 2  
SCALE: N.T.S.

**KEYNOTES** (THIS SHEET ONLY)

- FLOOR PLAN:**
- 1 SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - 2 EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
  - 3 SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
  - 4 REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.
  - 5 REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.

**LEGEND OF SYMBOLS**

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17



**GENERAL NOTES** (THIS SHEET ONLY)

1. SEE PROJECT GENERAL NOTES ON 6100.
2. ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
3. ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
4. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2X4 STUDS AND GYP BD.
5. ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
6. ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
7. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
8. ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
9. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
10. ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
11. ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
12. ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
13. ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O.).
14. ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
15. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
16. REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
17. ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
18. ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED. NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/4" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.

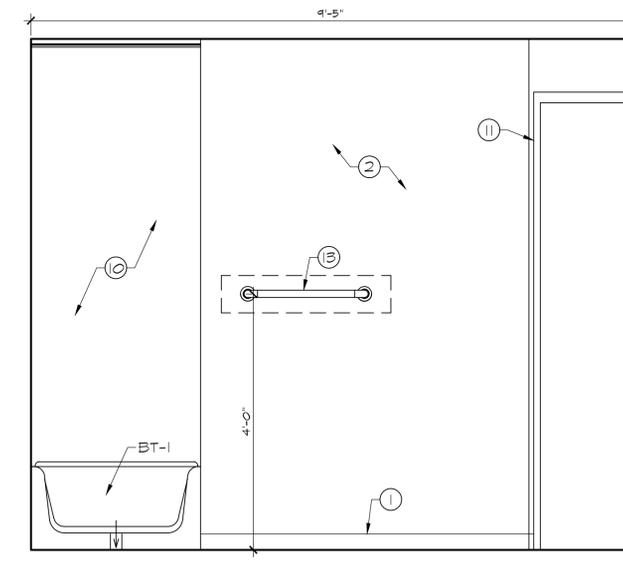
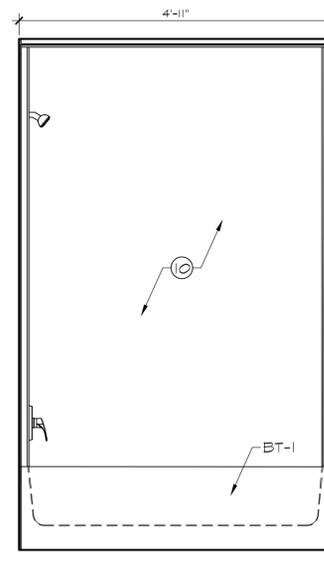
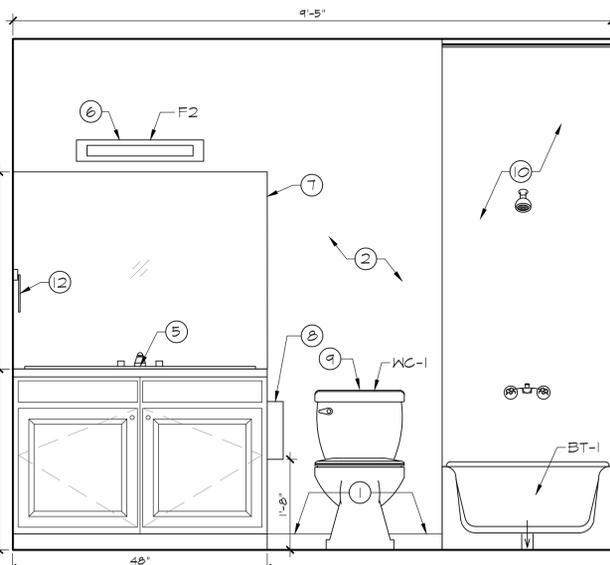
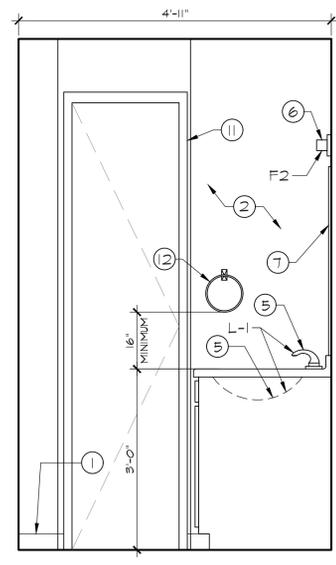
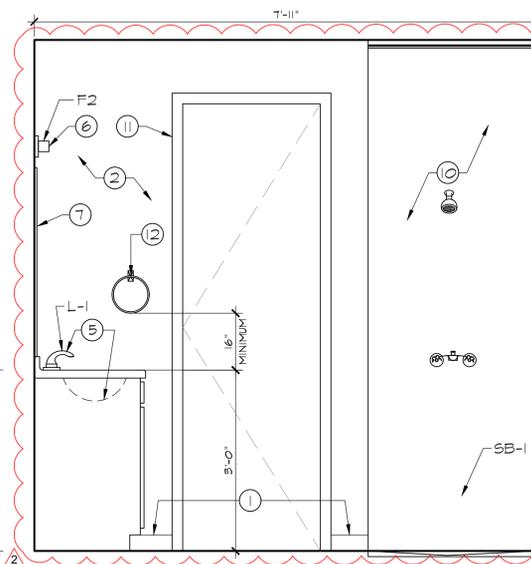
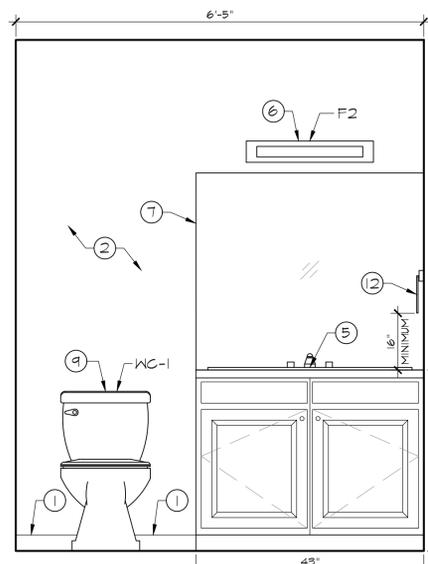
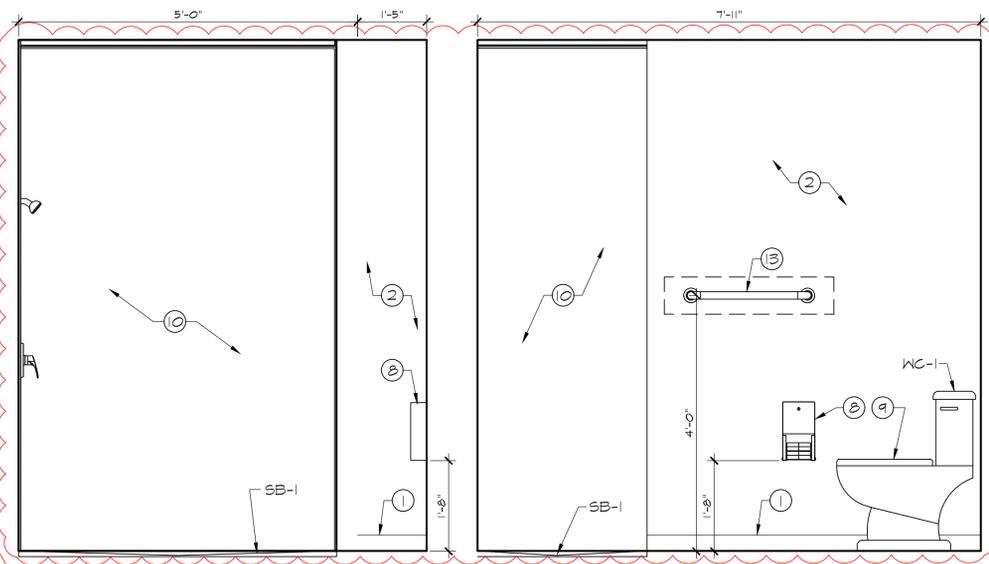
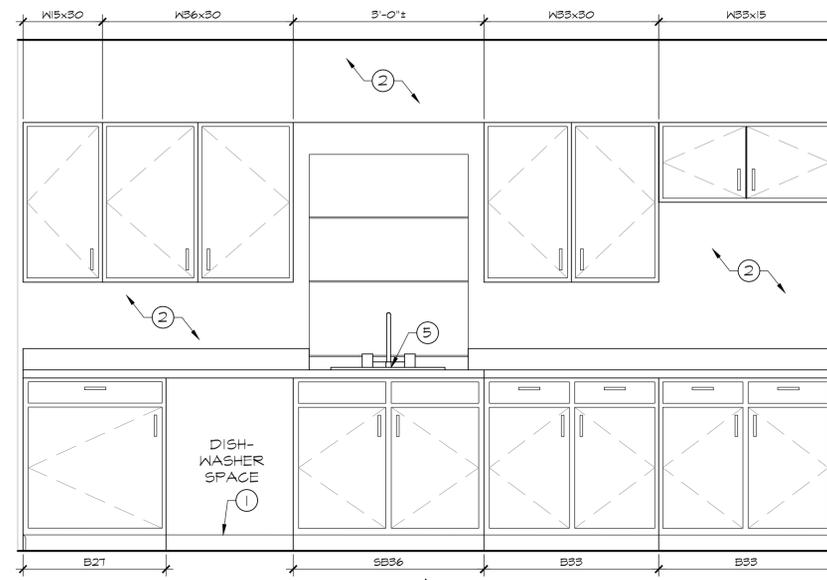
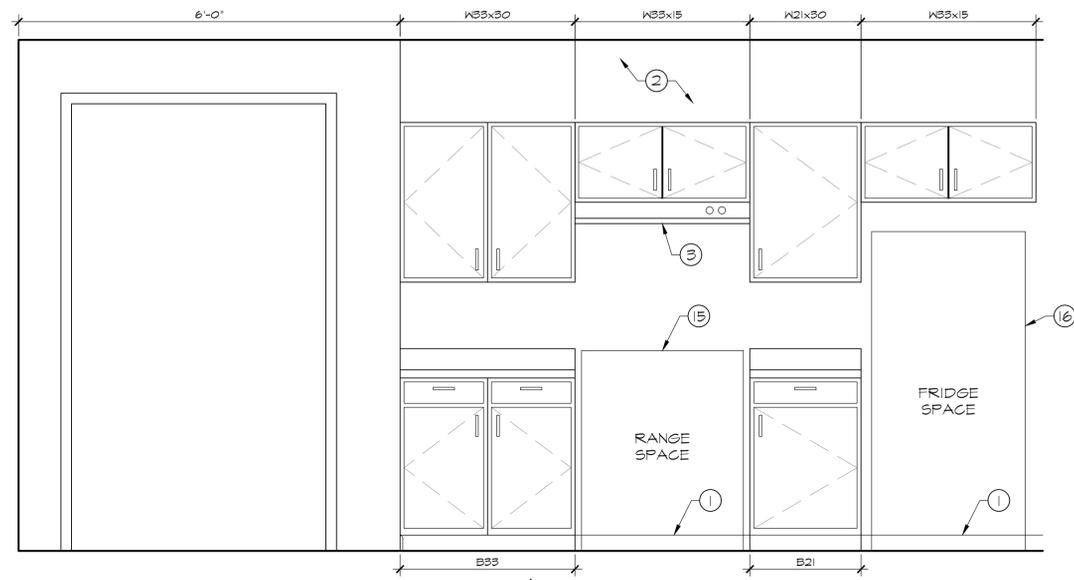


PIC 3  
SCALE: N.T.S.



PIC 4  
SCALE: N.T.S.

\*CRANK SPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:  
 - 1 3/8" CELLULAR PVC DOOR WITH NEW DEADBOLT  
 - BRICKMOLD  
 - STAINLESS STEEL HARDWARE  
 - 3 1/2" JAMB AND HEAD DEPTH  
 - OVERLAY CONFIGURATION  
 - SIZE TO BE FIELD VERIFIED  
 AS MANUFACTURED BY CURB APPEAL PRODUCTS  
 W: (919)466-8088  
 P: (919)466-8088



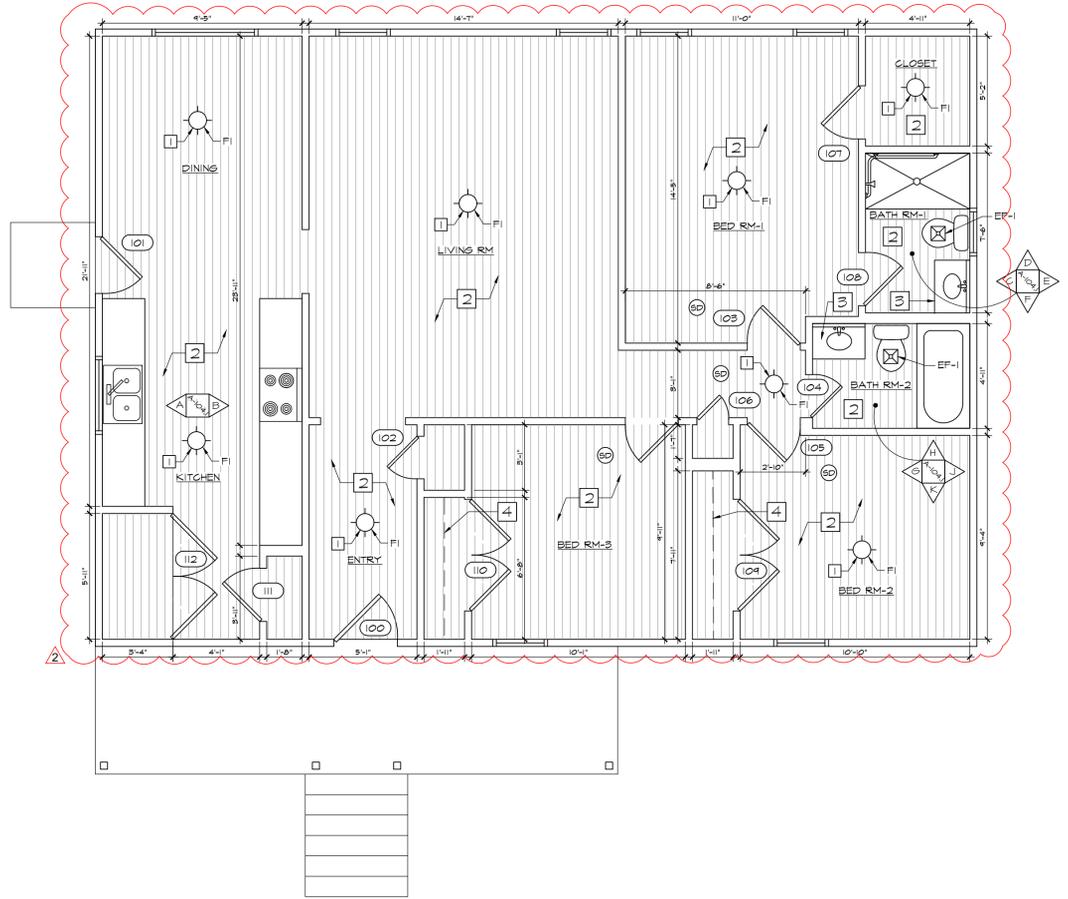
GENERAL NOTES (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON 6100.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON 201.1.
- ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

KEYNOTES (THIS SHEET ONLY)

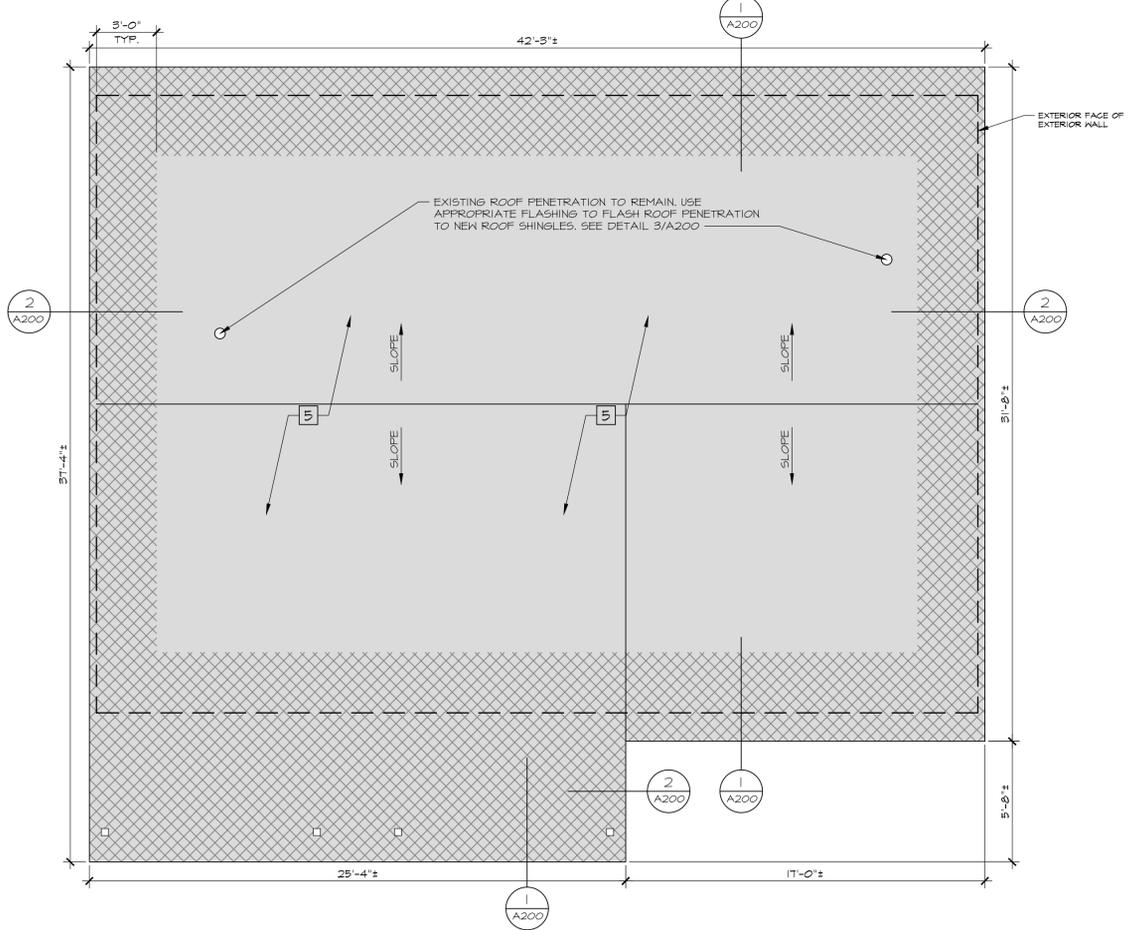
INTERIOR ELEVATIONS

- EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
- PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON 201.1.
- REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
- EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.
- REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
- NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
- REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.
- NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.
- NEW 2'-0" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
- NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.
- RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.
- FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.



1 LEVEL 1 FLOOR PLAN  
SCALE: 3/8" = 1'-0"

\*GRAHLSPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:  
 - 1 3/4" CELLULAR PVC DOOR WITH NEW DEADBOLT  
 - BRICKMOLD  
 - STAINLESS STEEL HARDWARE  
 - 3/2" JAMB AND HEAD DEPTH  
 - OVERLAY CONFIGURATION  
 - SIZE TO BE FIELD VERIFIED  
 AS MANUFACTURED BY CURB APPEAL PRODUCTS  
 W: (WWW.CURBAPPEALPRODUCTS.COM/GRHL-SPACE-DOORS/)  
 P: (919)846-8088



2 ROOF PLAN  
SCALE: 1/4" = 1'-0"

GENERAL NOTES (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON 6100.
- ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD.
- ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
- ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
- ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
- ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
- ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O.).
- ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
- REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
- ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
- ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED (IF PRESENT). NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/2" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.

KEYNOTES (THIS SHEET ONLY)

- FLOOR PLAN:
- SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
  - SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
  - REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.
  - REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.

LEGEND OF SYMBOLS

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17

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 Rockford, IL 61107  
 (815) 223-8222  
 www.1919architects.com

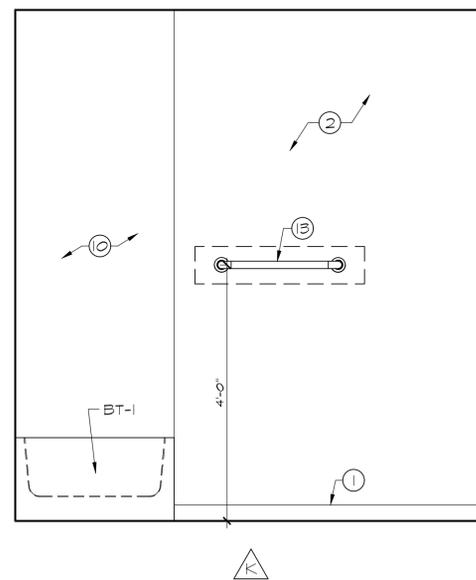
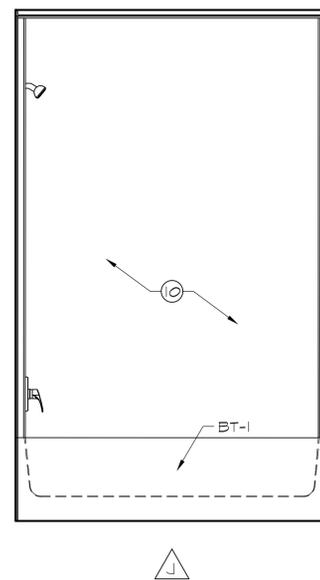
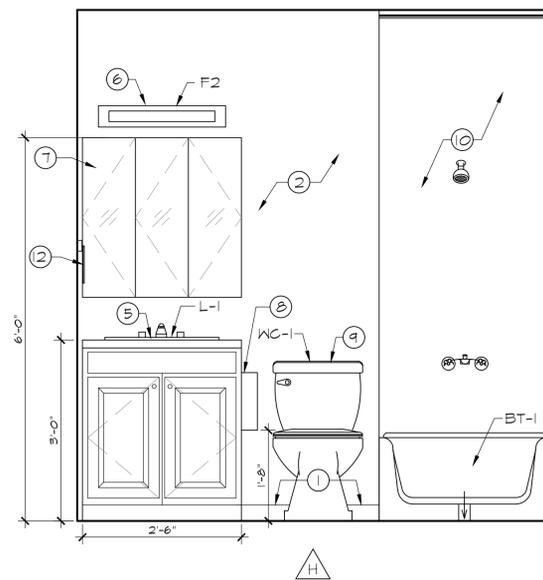
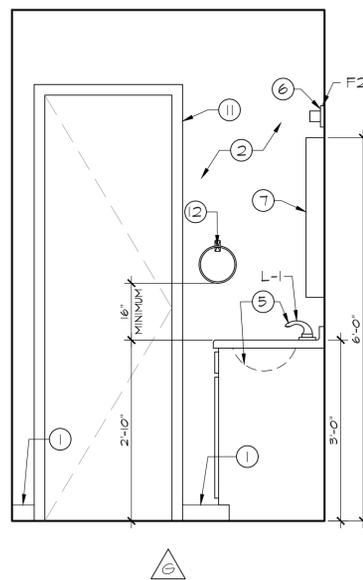
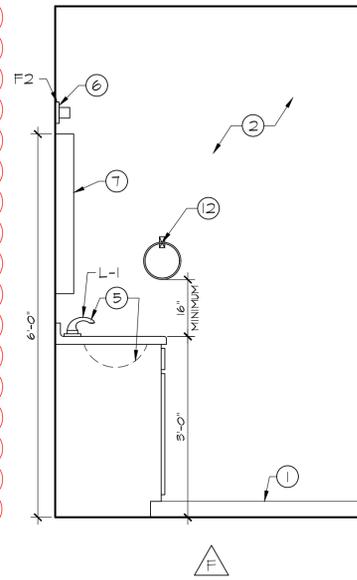
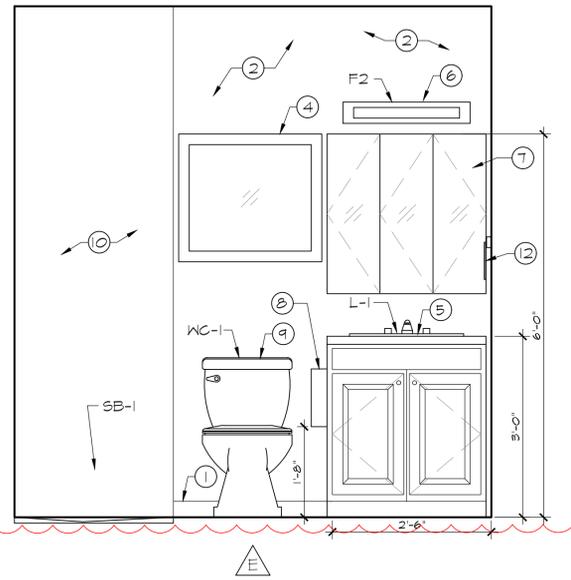
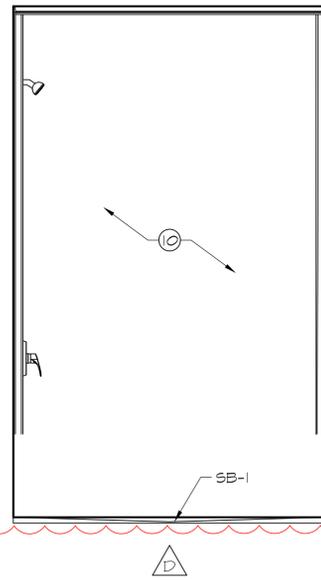
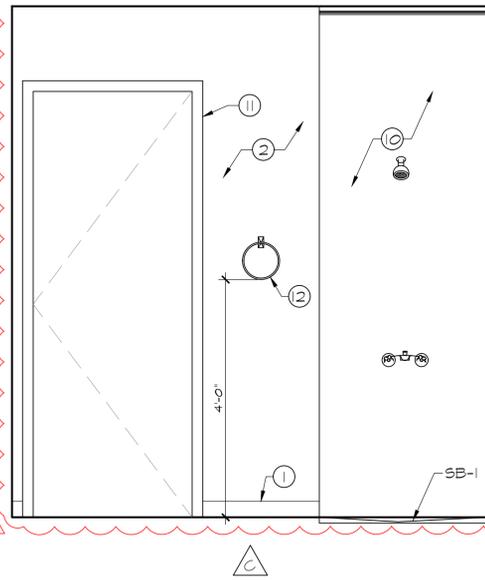
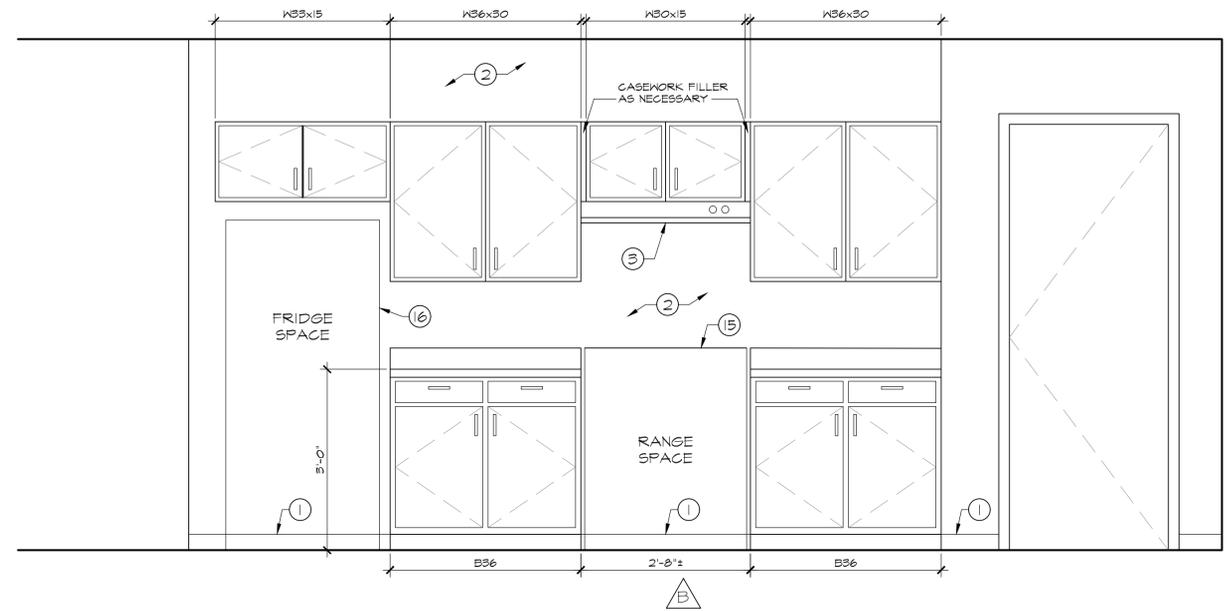
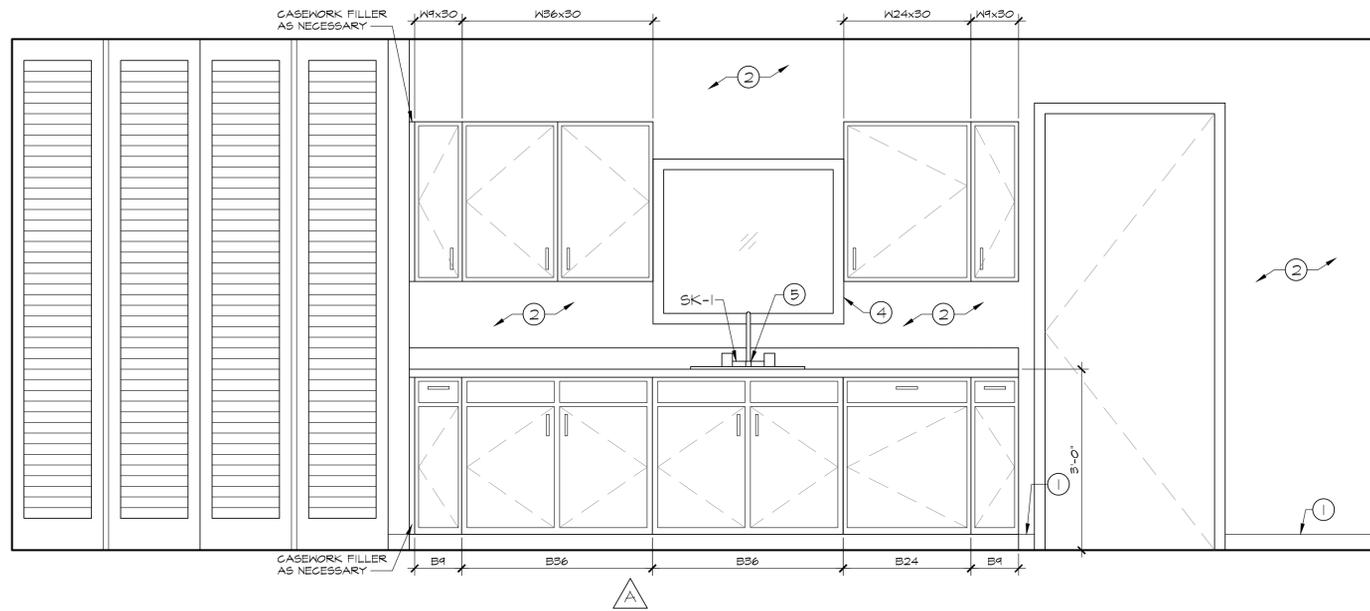
COLUMBIA H.A. SCATTERED SITE REHAB  
 817 RIVERWALK WAY COLUMBIA, SC.  
 20-12740  
 Project Number

Rev. Date  
 7/25/22

Rev. Date  
 06-06-2023  
 Date

ARCHITECT  
 OWNER  
 CONTRACTOR  
 BIDDING CO.  
 RGE  
 JMK  
 JMK  
 Dm.

Sheet No.  
 A104



**GENERAL NOTES** (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON 6100.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON 201.1.
- ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

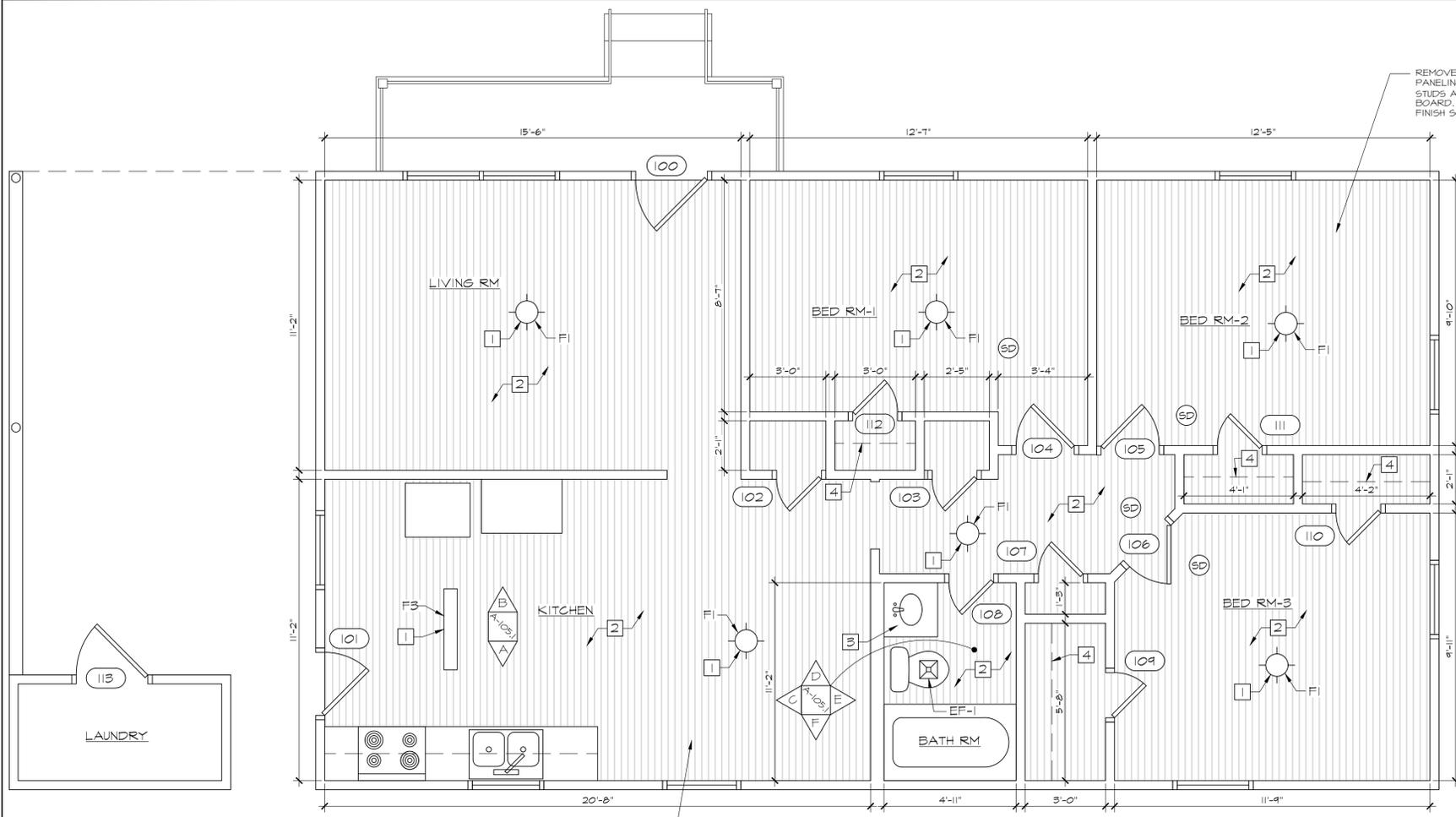
**KEYNOTES** (THIS SHEET ONLY)

**INTERIOR ELEVATIONS**

- EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
- PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON 201.1.
- REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
- EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.
- REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
- NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
- REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.
- NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.
- NEW 2'-0" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
- NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.
- RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.
- FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.

GENERAL NOTES (THIS SHEET ONLY)

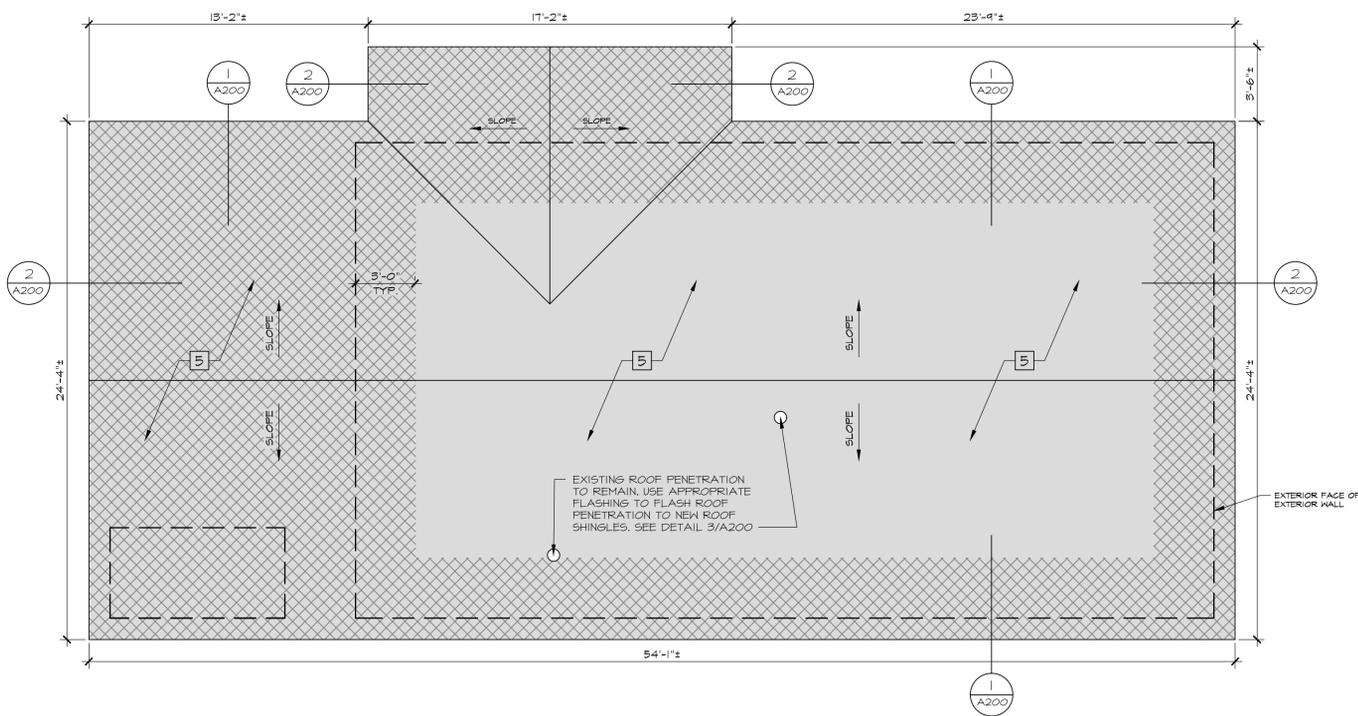
- SEE PROJECT GENERAL NOTES ON 6100.
- ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD.
- ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
- ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
- ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
- ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
- ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O.).
- ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
- REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
- ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
- ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED (IF PRESENT). NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/2" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.



1 A-105 FLOOR PLAN  
SCALE: 3/8" = 1'-0"

KEYNOTES (THIS SHEET ONLY)

- FLOOR PLAN:
- SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
  - SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
  - REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.
  - REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.

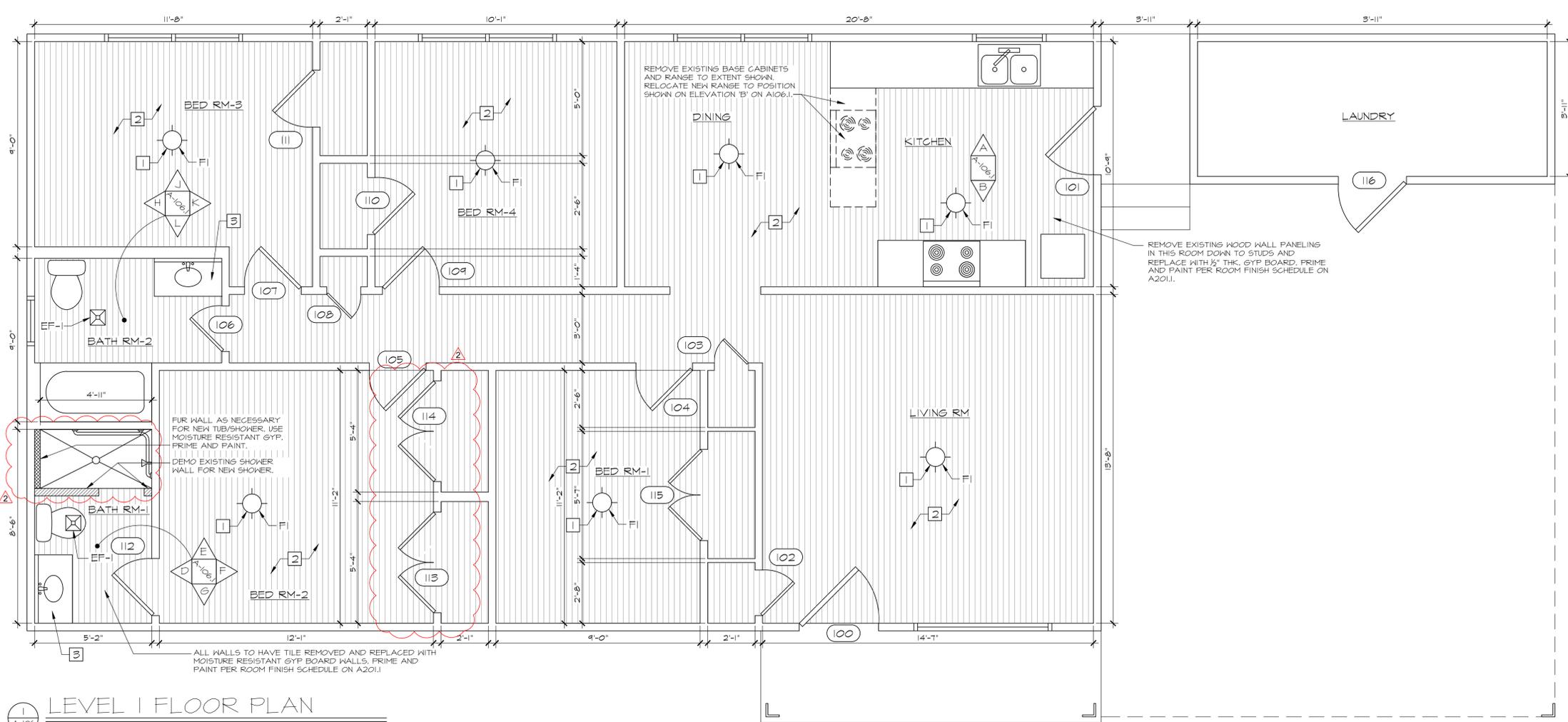


\*CRAWLSPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:  
 - 1 3/8" CELLULAR PVC DOOR WITH NEW DEADBOLT  
 - BRICKMOLD  
 - STAINLESS STEEL HARDWARE  
 - 3/8" JAMB AND HEAD DEPTH  
 - OVERLAY CONFIGURATION  
 - SIZE TO BE FIELD VERIFIED  
 AS MANUFACTURED BY CURB APPEAL PRODUCTS  
 W: (919) 428-2222  
 P: (919) 846-8088

2 A-105 ROOF PLAN  
SCALE: 1/4" = 1'-0"

LEGEND OF SYMBOLS

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17

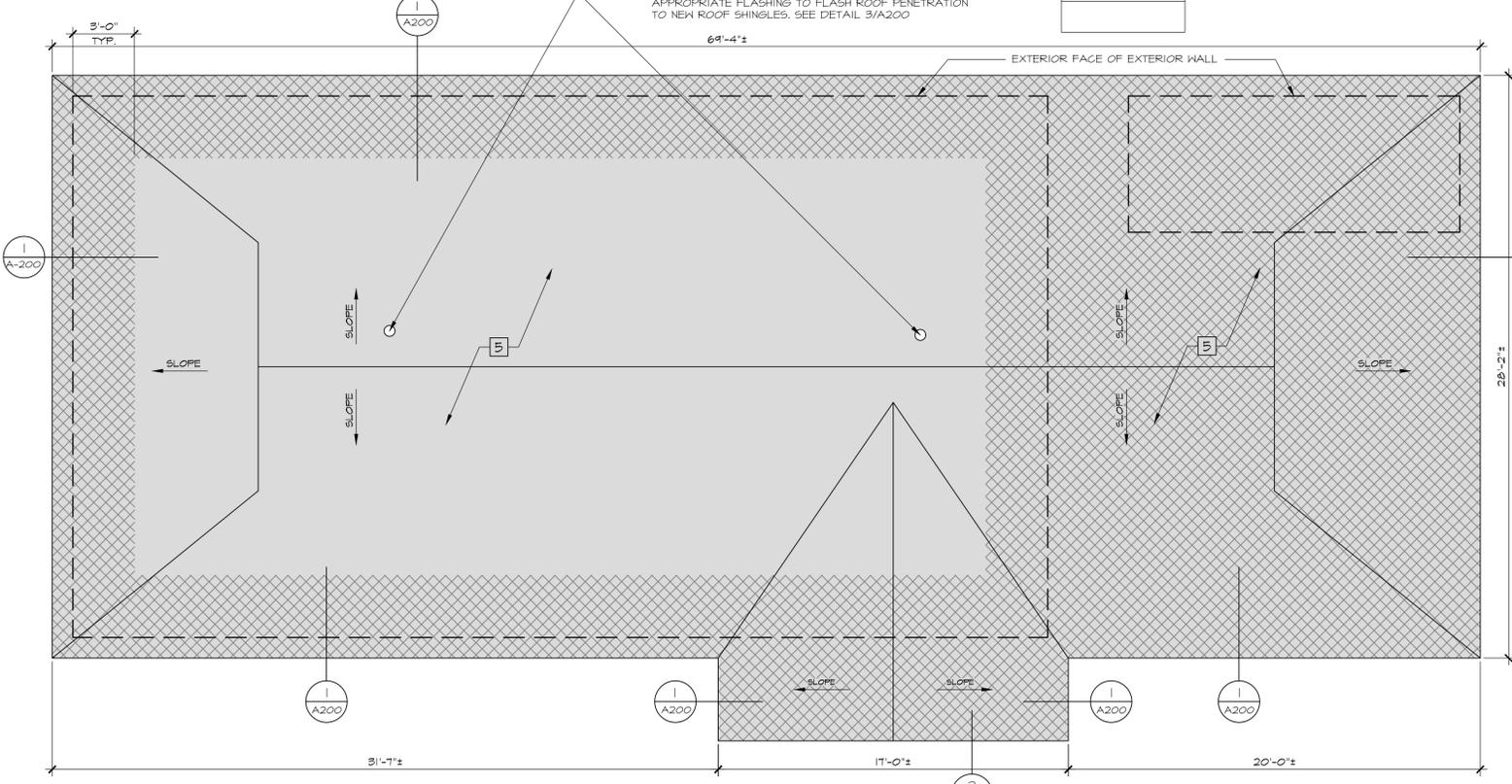


GENERAL NOTES (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON G100.
- ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
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- ALL GYP. BOARD CEILING IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILING ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
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- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
- ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
- ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
- ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
- ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O.).
- ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
- REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
- ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
- ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPPED, PREPARED, PRIMED AND PAINTED (IF PRESENT). NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/2" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.

LEVEL 1 FLOOR PLAN

SCALE: 3/8" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"

**\*THIS PROPERTY HAS FOUR (4) PINE TREES TO BE REMOVED. CONTRACTOR TO VERIFY EXACT LOCATIONS OF TREES ON SITE.**

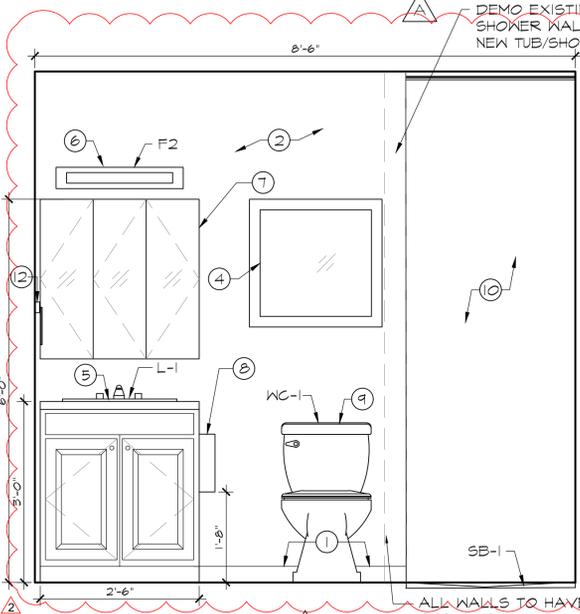
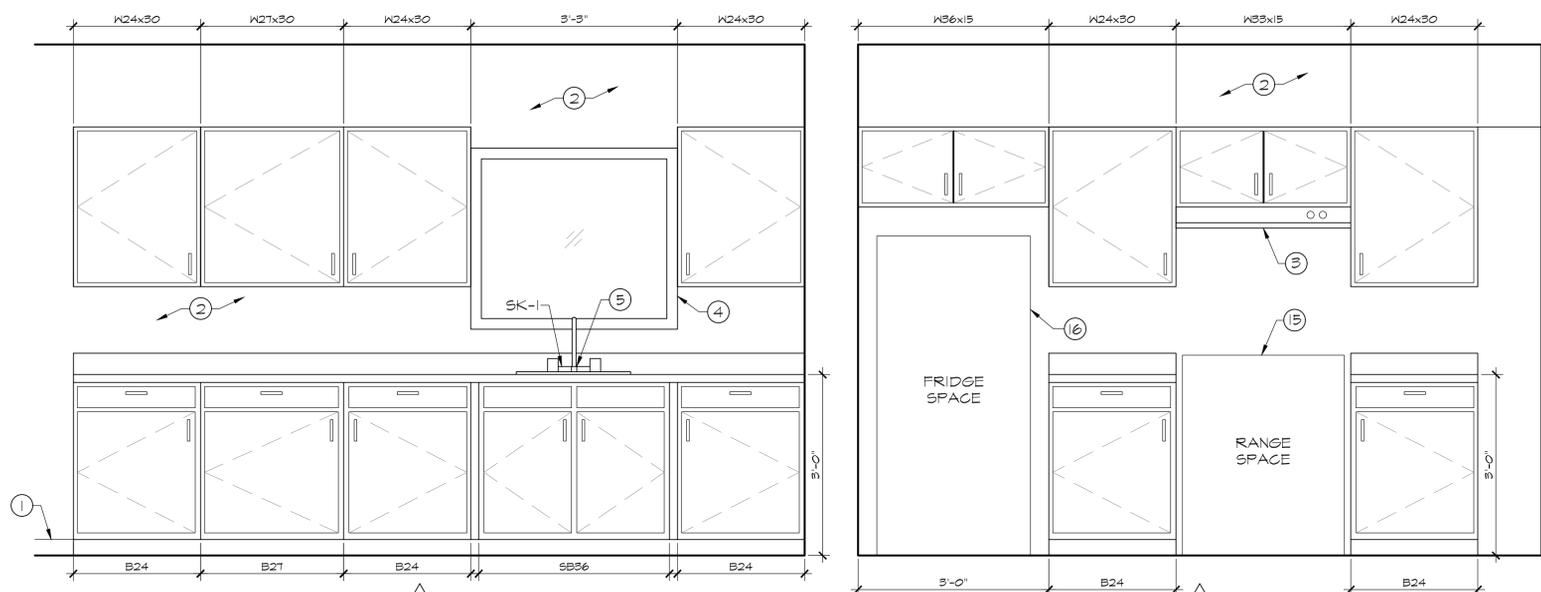
LEGEND OF SYMBOLS

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17

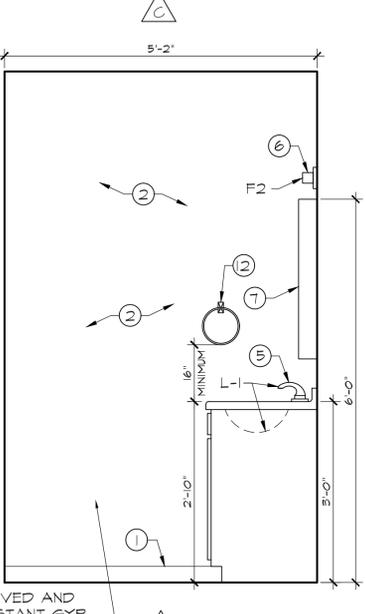
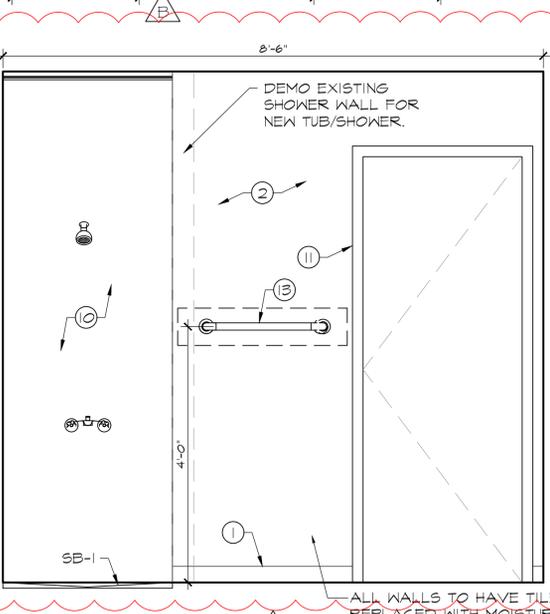
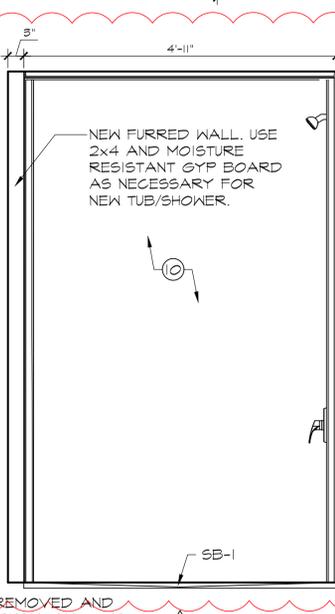
\*GRAIL SPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:  
 - 1 1/2" CELLULAR PVC DOOR WITH NEW DEADBOLT  
 - BRICKMOULD  
 - STAINLESS STEEL HARDWARE  
 - 3/8" JAMB AND HEAD DEPTH  
 - OVERLAY CONFIGURATION  
 - SIZE TO BE FIELD VERIFIED  
 AS MANUFACTURED BY CURB APPEAL PRODUCTS  
 IN: (WWW.CURBAPPEALPRODUCTS.COM/GRAIL-SPACE-DOORS/)  
 P. (918) 846-8088

KEYNOTES (THIS SHEET ONLY)

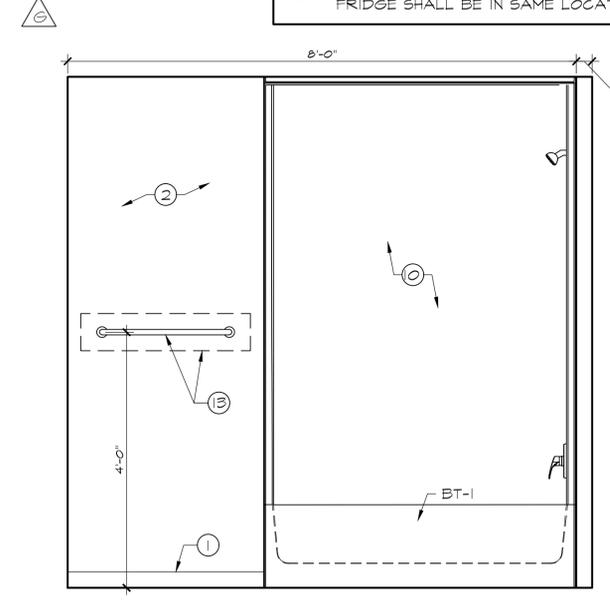
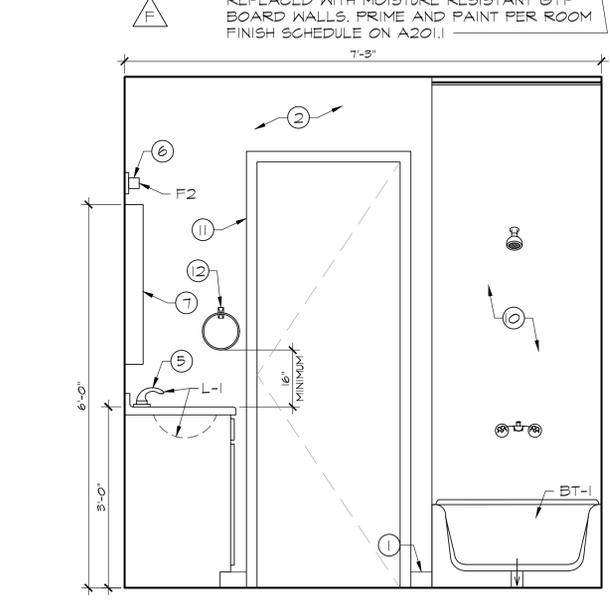
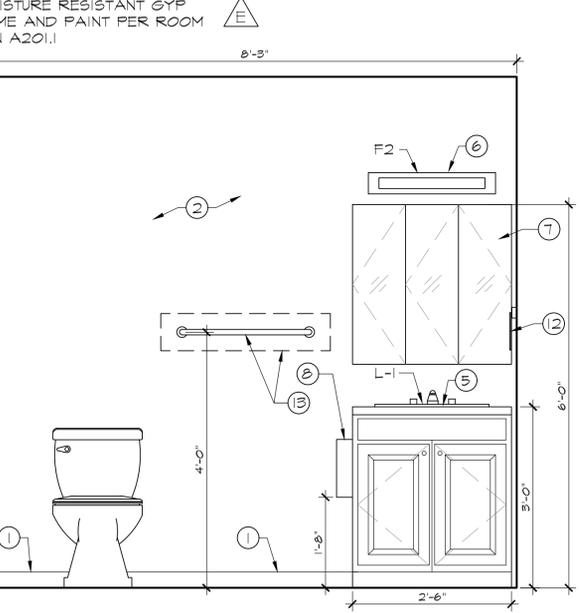
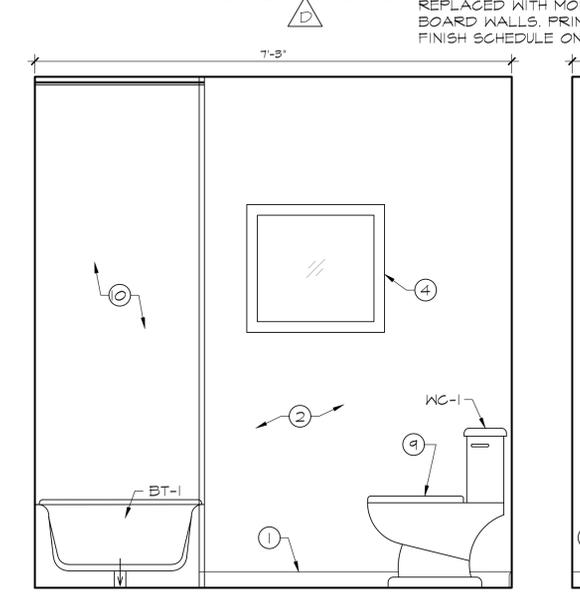
- FLOOR PLAN:
- SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
  - SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
  - REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.
  - REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.



DEMO EXISTING SHOWER WALL FOR NEW TUB/SHOWER.



ALL WALLS TO HAVE TILE REMOVED AND REPLACED WITH MOISTURE RESISTANT GYP BOARD WALLS. PRIME AND PAINT PER ROOM FINISH SCHEDULE ON A201.1



GENERAL NOTES (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON G100.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

KEYNOTES (THIS SHEET ONLY)

INTERIOR ELEVATIONS

- EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
- PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON A201.1.
- REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
- EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.
- REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
- REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
- NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
- REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.1.
- NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.
- NEW 2'-0" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
- NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.
- NEW RANGE AT THIS LOCATION TO BE INSTALLED - SEE SPECIFICATION.
- FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.

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 www.1919architects.com

COLUMBIA H.A. SCATTERED SITE REHAB  
 (ZONE 1)  
 2817 HILLBECK RD. COLUMBIA, SC.  
 Project Number: 20-12740 Date: 06-06-2023  
 Rev. Date: 7/25/22  
 SHEET NO. A106.1

ARCHITECT	OWNER	CONTRACTOR	BIDDING CO.

LEGEND OF SYMBOLS

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17

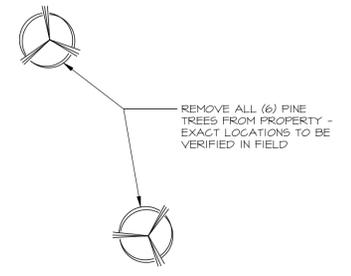
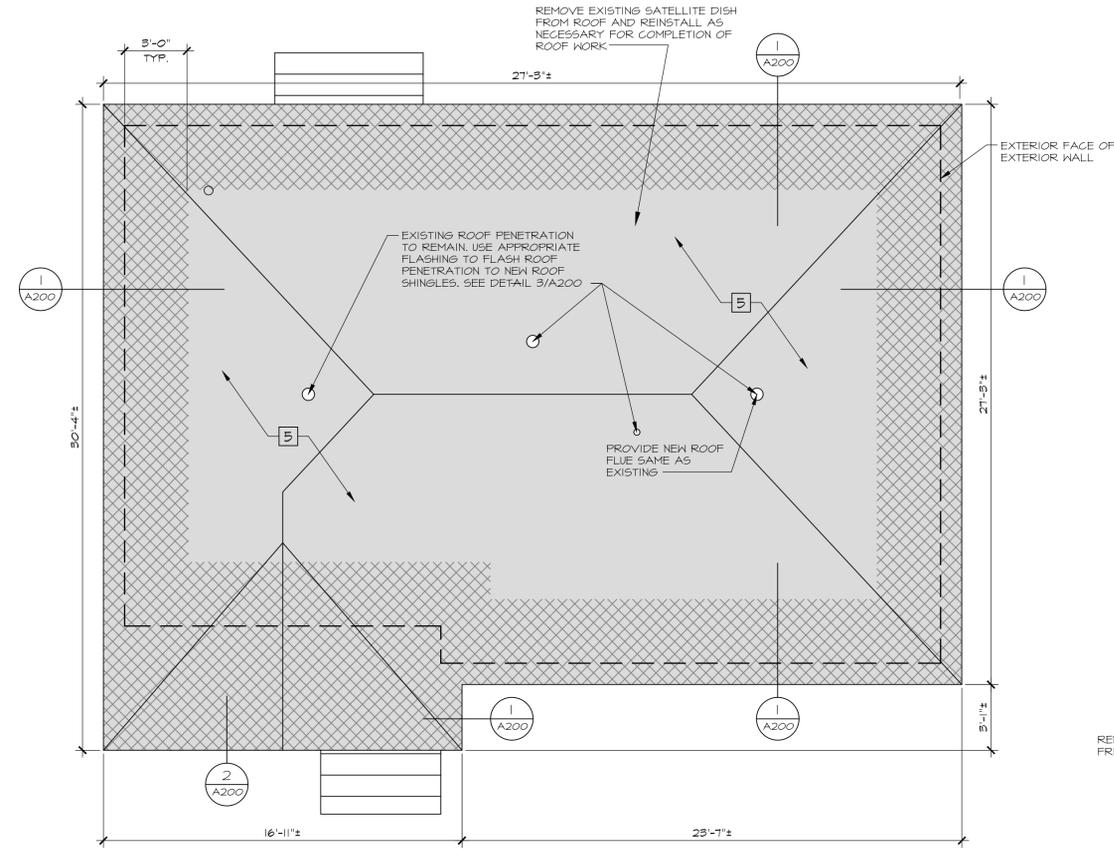
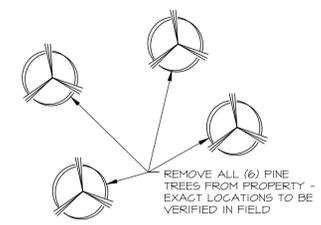
\*GRAHL-SPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:  
 - 1/2" CELLULAR PVC DOOR WITH NEW DEADBOLT  
 - BRICKMOULD  
 - STAINLESS STEEL HARDWARE  
 - 3/2" JAMB AND HEAD DEPTH  
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 W: (WWW.CURBAPPEALPRODUCTS.COM/GRAHL-SPACE-DOORS/) P: (914)846-8088

GENERAL NOTES (THIS SHEET ONLY)

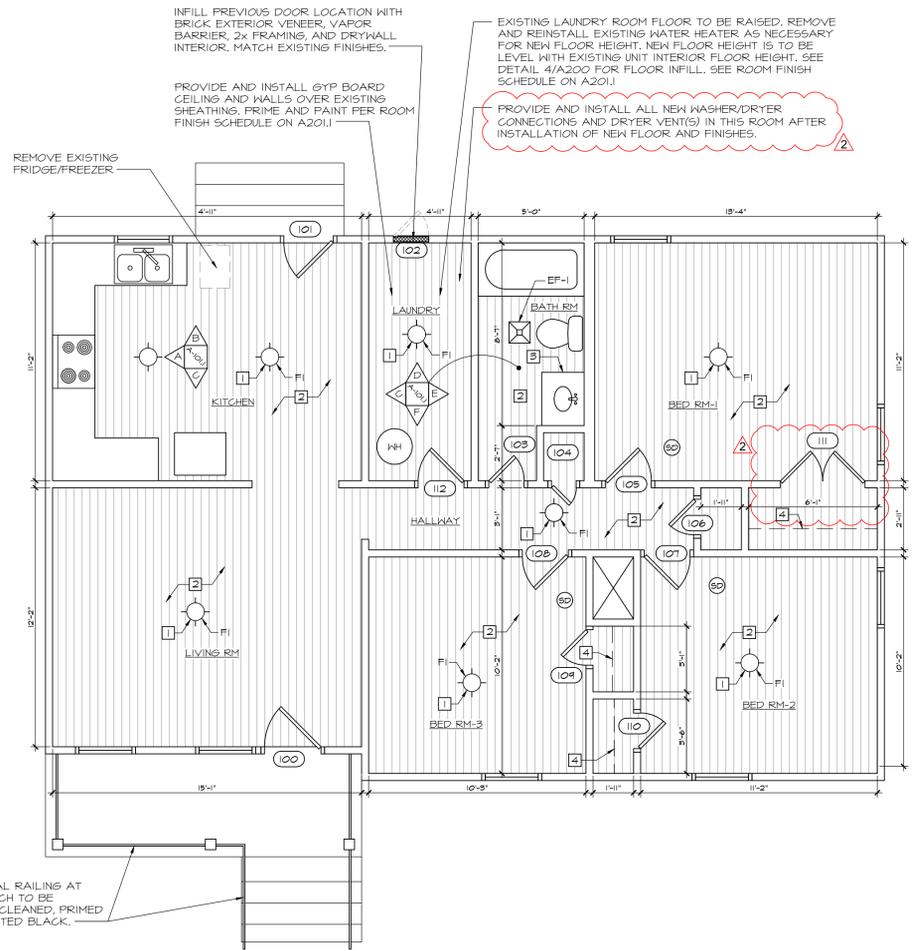
1. SEE PROJECT GENERAL NOTES ON G100.
2. ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
3. ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
4. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2X4 STUDS AND GYP BD.
5. ALL GYP. BOARD CEILING IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILING ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
6. ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
7. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
8. ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
9. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
10. ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
11. ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
12. ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
13. ALL UNIT CLOSET SHELVEING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVEING (U.N.O.).
14. ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
15. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
16. REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
17. ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
18. ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED (IF PRESENT). NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/2" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.

KEYNOTES (THIS SHEET ONLY)

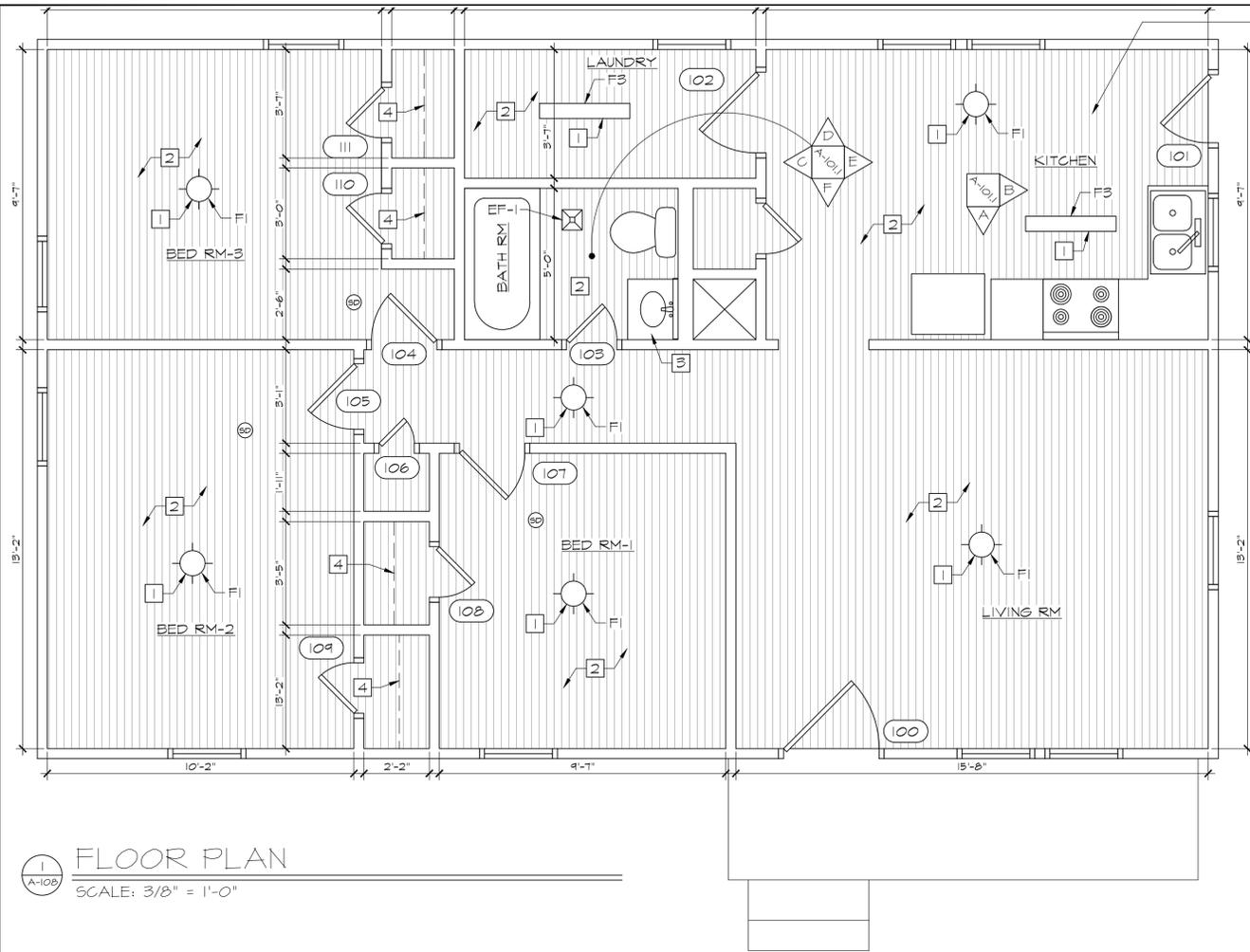
- FLOOR PLAN:
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  2. EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
  3. SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
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  5. REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.



1 A-107  
ROOF/SITE PLAN  
SCALE: 1/4" = 1'-0"



2 A-107  
FLOOR PLAN  
SCALE: 1/4" = 1'-0"



REMOVE EXISTING WOOD WALL PANELING IN THIS ROOM DOWN TO STUDS AND REPLACE WITH 1/2" THK. GYP BOARD, PRIME AND PAINT PER ROOM FINISH SCHEDULE ON A201.1.

\*CRAWL SPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:  
 - 1 3/4" CELLULAR PVC DOOR WITH NEW DEADBOLT  
 - BRICK/MOULD  
 - STAINLESS STEEL HARDWARE  
 - 3/4" JAMB AND HEAD DEPTH  
 - OVERLAY CONFIGURATION  
 - SIZE TO BE FIELD VERIFIED  
 AS MANUFACTURED BY CURB APPEAL PRODUCTS  
 W: WWW.CURBAPPEALPRODUCTS.COM/CRAWL-SPACE-DOORS/)  
 P: (919)846-8088

1 FLOOR PLAN  
 SCALE: 3/8" = 1'-0"

GENERAL NOTES (THIS SHEET ONLY)

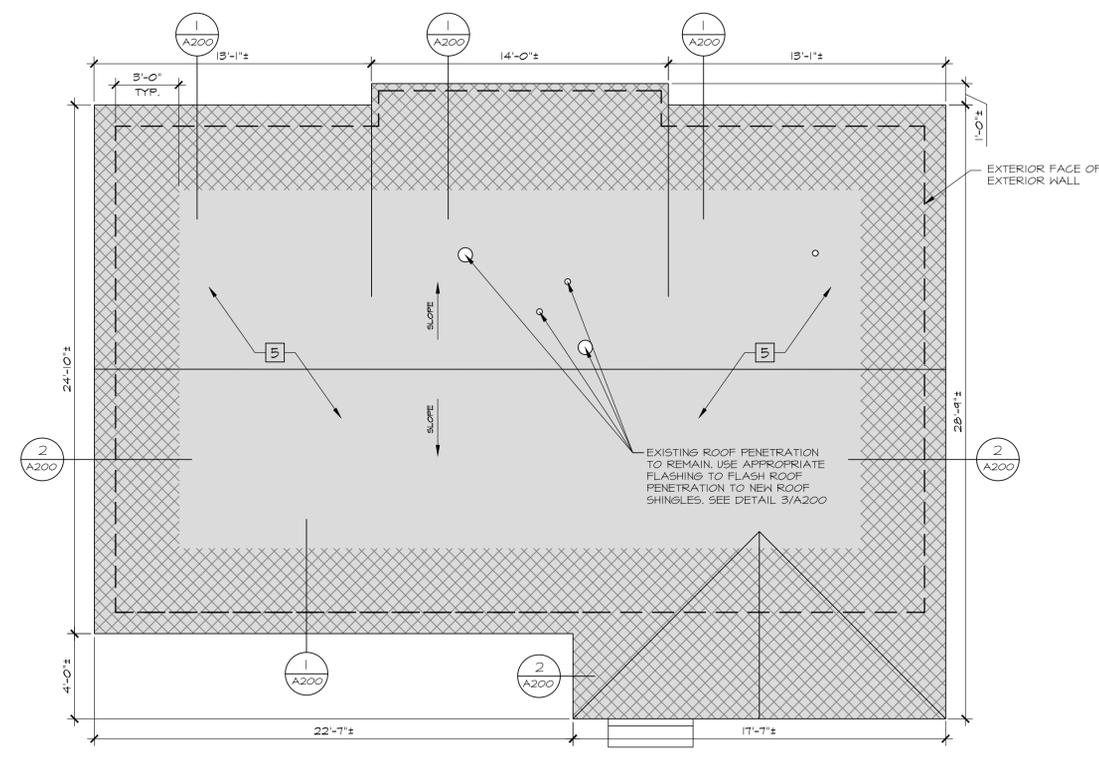
- SEE PROJECT GENERAL NOTES ON 6100.
- ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
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KEYNOTES (THIS SHEET ONLY)

- FLOOR PLAN:
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LEGEND OF SYMBOLS

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17



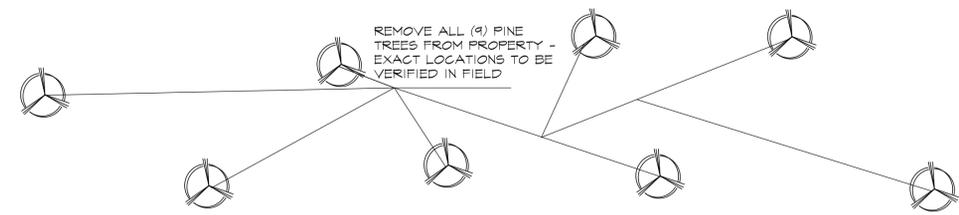
2 ROOF PLAN  
 SCALE: 1/4" = 1'-0"

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 4000 Mosley Drive  
 Rockford, IL 61107  
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 www.1919architects.com

COLUMBIA H.A. SCATTERED SITE REHAB  
 (ZONE 1)  
 4516 LEEDS ST. COLUMBIA, SC.  
 20-12740  
 06-06-2023  
 Date  
 JMK  
 JMK  
 Appr.  
 Date

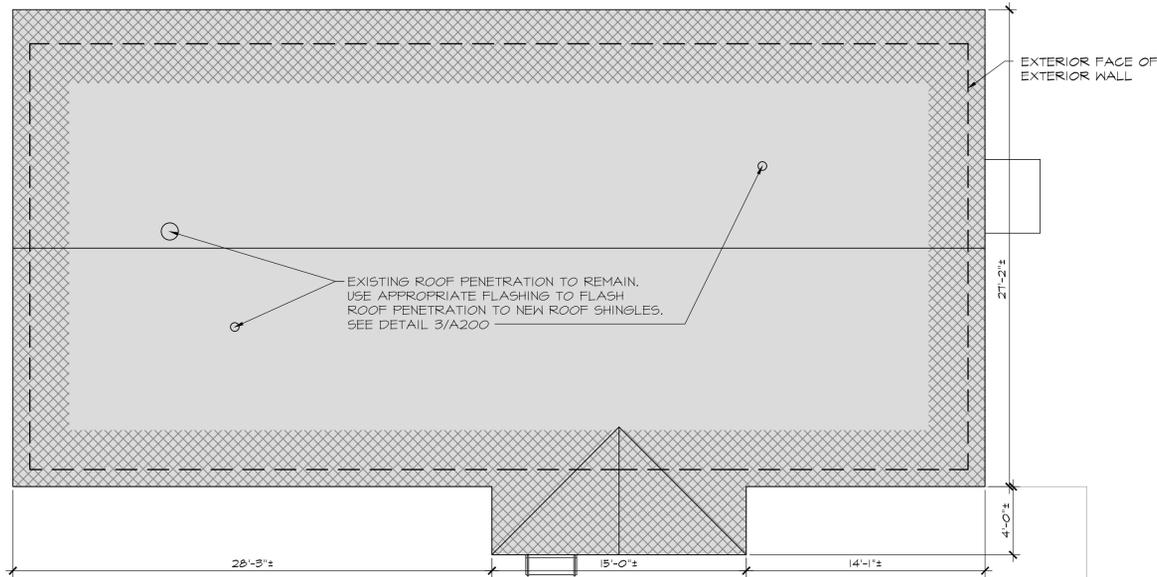
Rev. Date  
 7/25/22

Sheet No.  
 A108



REMOVE ALL (8) PINE TREES FROM PROPERTY - EXACT LOCATIONS TO BE VERIFIED IN FIELD.

**\*THIS PROPERTY HAS EIGHT (8) PINE TREES TO BE REMOVED. CONTRACTOR TO VERIFY EXACT LOCATIONS OF TREES ON SITE.**



EXISTING ROOF PENETRATION TO REMAIN. USE APPROPRIATE FLASHING TO FLASH ROOF PENETRATION TO NEW ROOF SHINGLES. SEE DETAIL 3/A200

EXTERIOR FACE OF EXTERIOR WALL

EXISTING DRIVEWAY TO BE SAW-CUT, REMOVED AND REPLACED WITH NEW FOURSIDE CONCRETE DRIVEWAY. SEE ENLARGED DRIVE PLAN 3/A109.

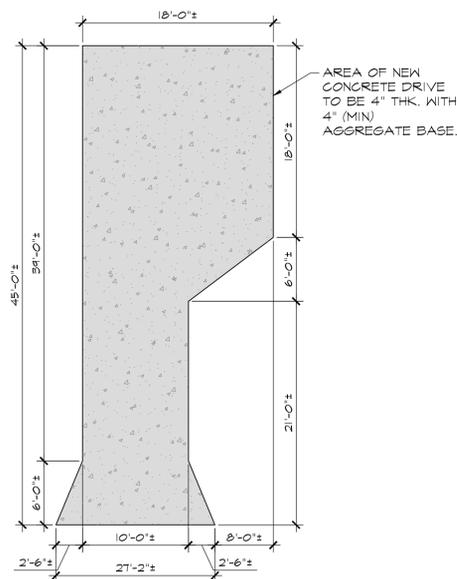
REMOVE ALL PINES ON PROPERTY. VERIFY LOCATION IN FIELD.

\*CRAWL-SPACE DOOR TO BE LOCATED AND REMOVED AND REPLACED WITH THE FOLLOWING:  
 - 1 3/8" CELLULAR PVC DOOR WITH NEW DEADBOLT  
 - BRICKMOLD  
 - STAINLESS STEEL HARDWARE  
 - 3/8" JAMB AND HEAD DEPTH  
 - OVERLAY CONFIGURATION  
 - SIZE TO BE FIELD VERIFIED

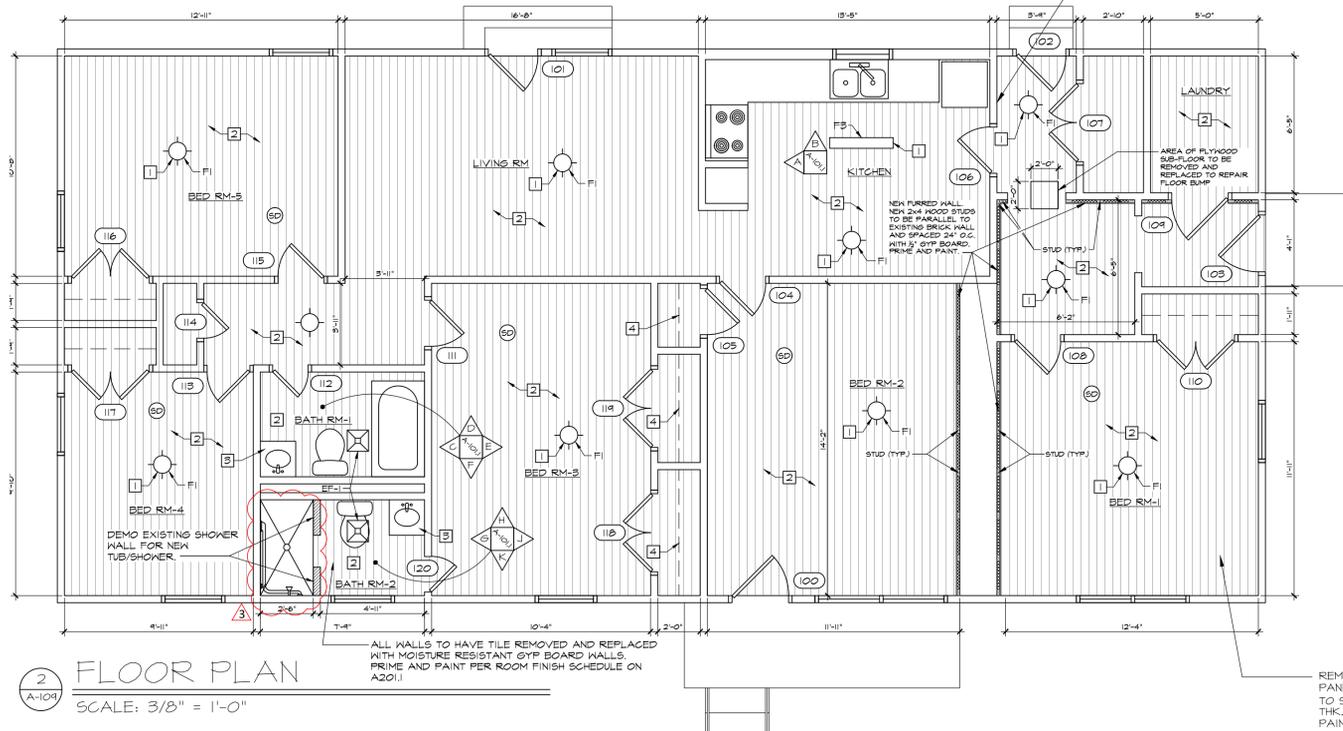
AS MANUFACTURED BY CURB APPEAL PRODUCTS  
 W: (WWW.CURBAPPEALPRODUCTS.COM/CRAWL-SPACE-DOORS)  
 P: (914)846-8088

**1 SITE/ROOF PLAN**

SCALE: 1/4" = 1'-0"



AREA OF NEW CONCRETE DRIVE TO BE 4" THK. WITH 4" (MIN) AGGREGATE BASE.



**2 FLOOR PLAN**

SCALE: 3/8" = 1'-0"

ALL WALLS TO HAVE TILE REMOVED AND REPLACED WITH MOISTURE RESISTANT GYP BOARD WALLS. PRIME AND PAINT PER ROOM FINISH SCHEDULE ON A201.

REMOVE EXISTING WOOD WALL PANELING IN THIS ROOM DOWN TO STUDS AND REPLACE WITH 1/2" THK. GYP BOARD, PRIME AND PAINT PER ROOM FINISH SCHEDULE ON A201.

**GENERAL NOTES**

(THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON 6100.
- ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD.
- ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.
- ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.
- ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.
- ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.
- ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
- ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O.).
- ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).
- REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.
- ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.
- ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED (IF PRESENT). NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/4" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.

**KEYNOTES**

(THIS SHEET ONLY)

**FLOOR PLAN:**

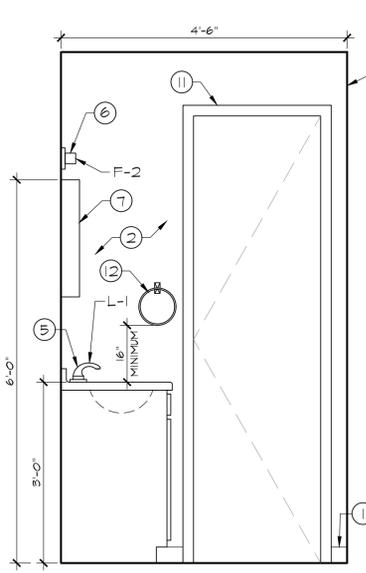
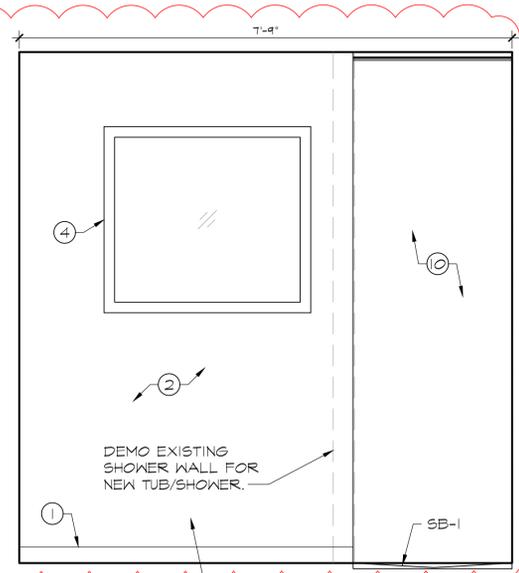
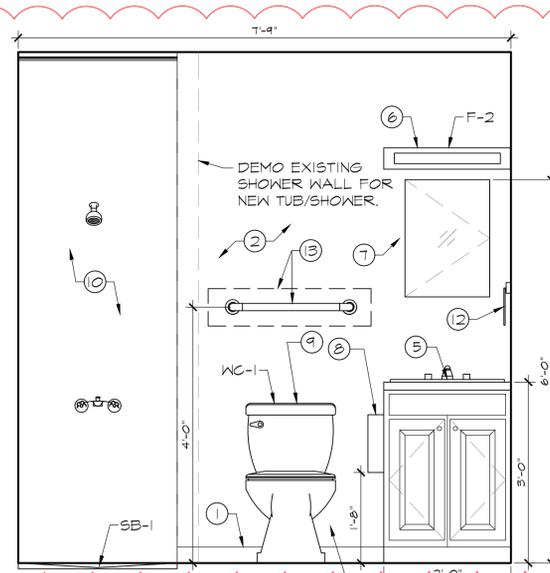
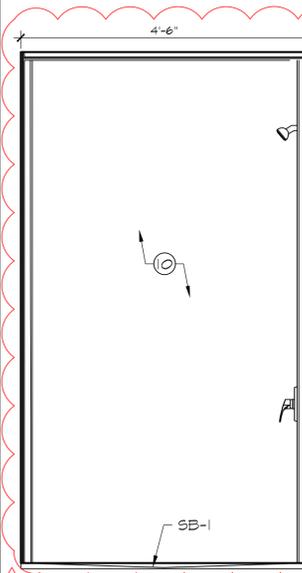
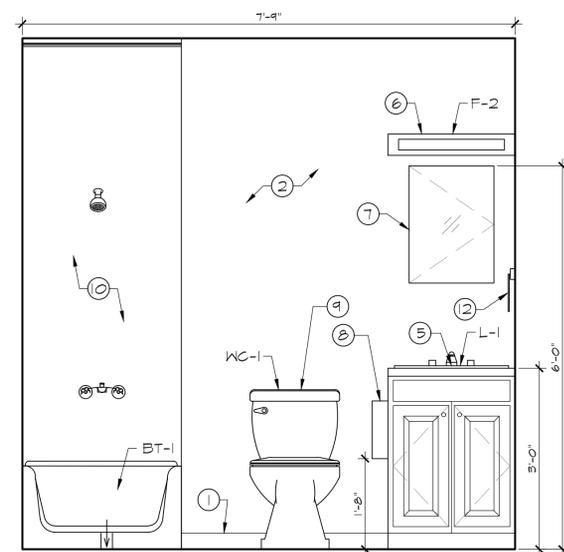
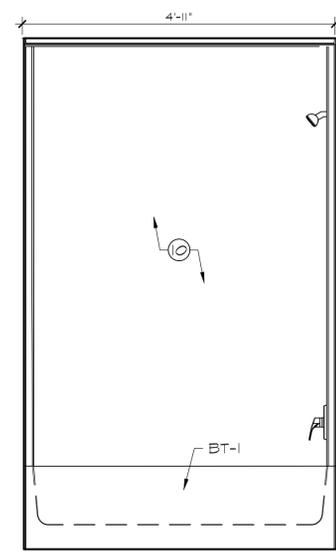
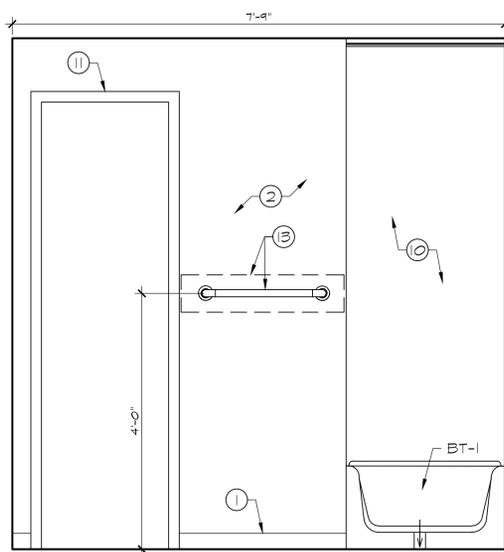
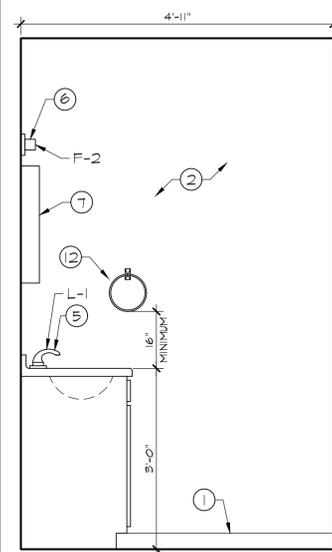
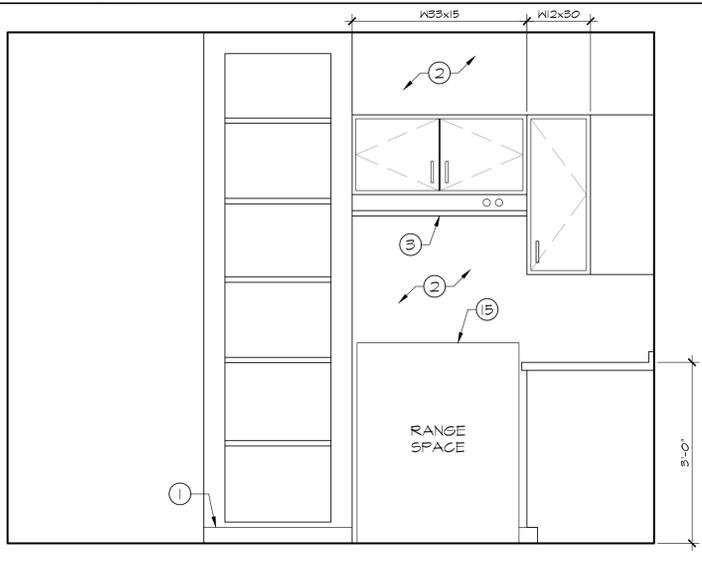
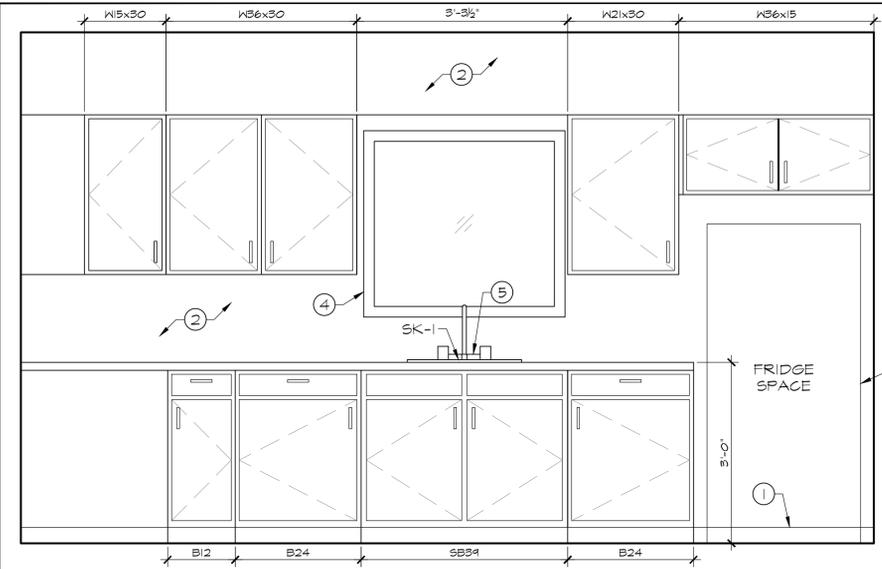
- SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
- EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.
- SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.
- REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.
- REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.

**LEGEND OF SYMBOLS**

- NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1
- NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)
- AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.
- SMOKE AND CARBON DIOXIDE DETECTOR - SEE GENERAL NOTE 15
- CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17

**3 ENLARGED DRIVE PLAN**

SCALE: 3/8" = 1'-0"



**GENERAL NOTES** (THIS SHEET ONLY)

- SEE PROJECT GENERAL NOTES ON G100.
- ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1.
- ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.
- ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.
- ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

**KEYNOTES** (THIS SHEET ONLY)

- INTERIOR ELEVATIONS**
- EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
  - PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON A201.1.
  - REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
  - EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.
  - REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
  - REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR. REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
  - NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
  - REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
  - EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.
  - NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.
  - NEW 2'-0" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
  - NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.
  - RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.
  - FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.

**INTERIOR ELEVATIONS**  
SCALE: 3/4" = 1'-0"

1 A-104

ALL WALLS TO HAVE TILE REMOVED AND REPLACED WITH MOISTURE RESISTANT GYP BOARD WALLS. PRIME AND PAINT PER ROOM FINISH SCHEDULE ON A201.1

ALL WALLS TO HAVE TILE REMOVED AND REPLACED WITH MOISTURE RESISTANT GYP BOARD WALLS. PRIME AND PAINT PER ROOM FINISH SCHEDULE ON A201.1

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www.1919architects.com

**INTERIOR ELEVATIONS**

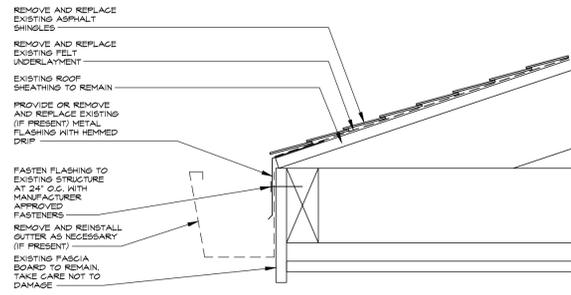
COLUMBIA H.A. SCATTERED SITE REHAB (ZONE 1)  
4817 FAULKLAND RD., COLUMBIA, SC.  
20-12740  
Project Number

Rev. Date  
7/25/22

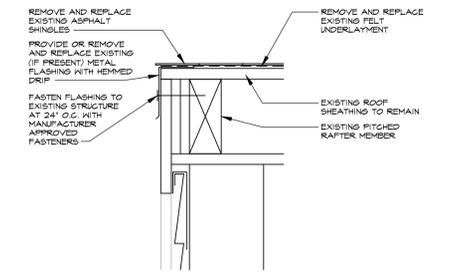
Sheet No.  
A109.1

ARCHITECT	OWNER	CONTRACTOR	BIDDING CO.
		RGB	JMK
		Date	06-06-2023

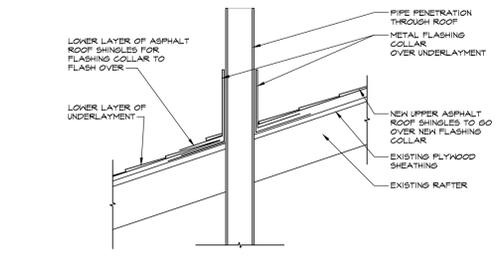




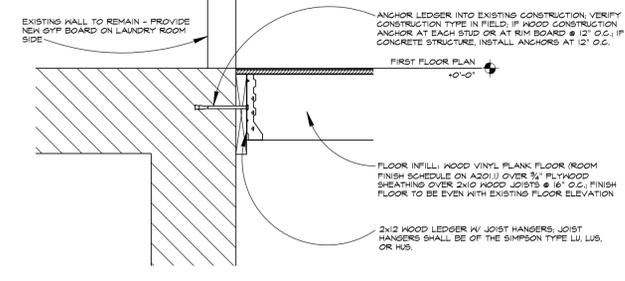
1 ROOF EDGE DETAIL  
SCALE: 3" = 1'-0"



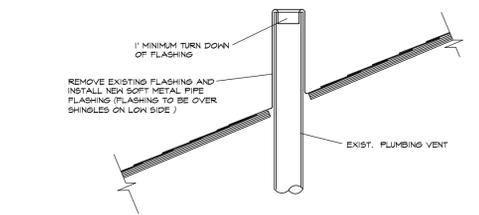
2 ROOF RAKE DETAIL  
SCALE: 3" = 1'-0"



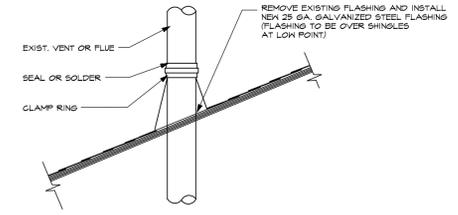
3 PIPE FLASHING DETAIL  
SCALE: 3" = 1'-0"



4 FLOOR INFILL DETAIL  
SCALE: 3" = 1'-0"



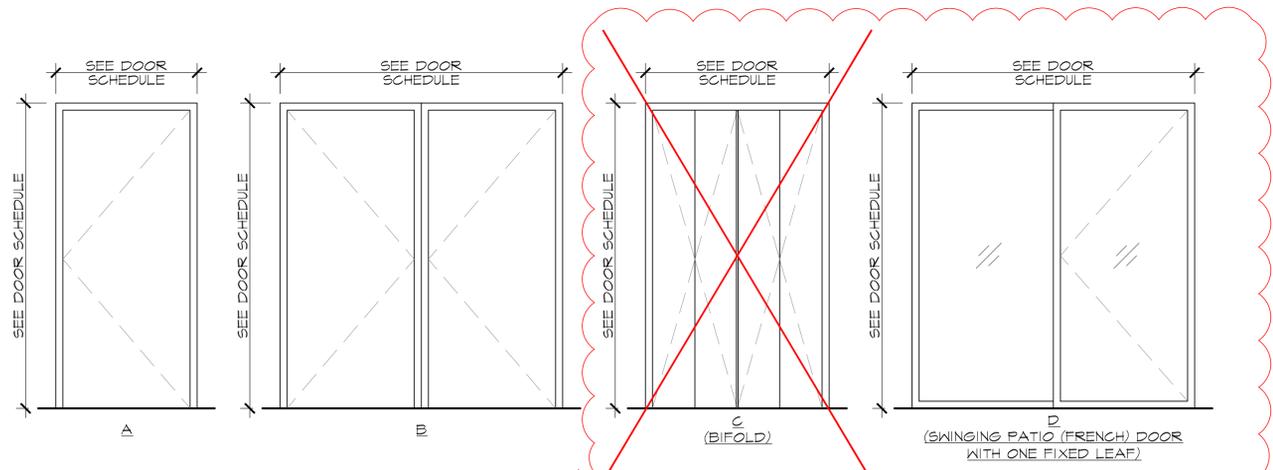
5 PLUMBING VENT DETAIL  
SCALE: 1" = 1'-0"



6 FLUE DETAIL  
SCALE: 1" = 1'-0"

<p>INSPECT EXTERIOR FACE BRICK FOR SOUNDNESS; IDENTIFY DETERIORATED MORTAR JOINTS</p>	<p>RAKE EXISTING JOINT TO SOUND MORTAR (3/4" MIN; d/3 MAX) AND GROUND TO 90° PROFILE; CLEAN JOINT WITH WATER OR COMPRESSED AIR</p>	<p>FIRST PASS: FILL JOINT WITH TYPE "N" MORTAR USING 1/4" MAX LIFT; MATCH EXISTING COLOR AND TEXTURE</p>	<p>SUBSEQUENT PASS(ES): FILL JOINT WITH TYPE "N" MORTAR USING 1/4" MAX LIFTS; MATCH EXISTING COLOR AND TEXTURE</p>	<p>FINAL PASS: FILL JOINT WITH TYPE "N" MORTAR USING 1/4" MAX LIFTS; MATCH EXISTING COLOR, TEXTURE &amp; CONCAVE TOOLING</p>
<p>1 DETERIORATED JOINT</p>	<p>2</p>	<p>3 1/4" LIFT; FIRST PASS</p>	<p>4 1/4" LIFTS; SUBSEQUENT PASSES</p>	<p>5 CONCAVE JOINT TO MATCH EXISTING PROFILE</p>

MASONRY POINTING DETAILS  
NOT TO SCALE



DOOR ELEVATIONS  
SCALE: 1/2" = 1'-0"

ARCHITECT	OWNER	CONTRACTOR	REVISION	DATE
COLUMBIA H.A. SCATTERED SITE REHAB (ZONE 1) COLUMBIA, SC.				
Project Number	20-12740	Date	06-06-2023	Drn.
Rev. Date	7/25/22			
Sheet No.	A200			

OPNG. No.	ELEV. (SHEET A200)	DOOR			FRAME MAT'L	HARD-WARE	NOTES	
		MAT'L	WIDTH	HEIGHT				THKNESS
26 THISTLE CT.								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
101	A	HM	2'-8"	6'-8"	1 3/4"	WD	1	1, 2
102	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
103	B	WD	5'-0"	6'-8"	1 3/4"	WD	4	1, 2
104	B	WD	5'-0"	6'-8"	1 3/4"	WD	4	1, 2
200	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
201	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
202	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
203	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
204	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
205	B	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
206	B	WD	3'-0"	6'-8"	1 3/4"	WD	4	1, 2
207	B	WD	3'-0"	6'-8"	1 3/4"	WD	4	1, 2
41 SALVIA CT.								
001	A	HM	2'-8"	6'-8"	1 3/4"	HM	1	1, 5
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2, 9
101	D	HM	6'-0"	6'-8"	1 3/4"	WD	5	1, 2
102	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
103	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
200	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
201	B	WD	3'-0"	6'-8"	1 3/4"	WD	4	1, 2
202	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
203	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
204	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
205	B	WD	3'-0"	6'-8"	1 3/4"	WD	4	1, 2
206	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
207	B	WD	3'-0"	6'-8"	1 3/4"	WD	4	1, 2
208	B	WD	3'-0"	6'-8"	1 3/4"	WD	4	1, 2
109 PEACHTREE DR.								
000	A	HM	3'-0"	6'-8"	1 3/4"	HM	1	1, 5
100	B	HM	5'-0"	6'-8"	1 3/4"	HM	(2)	1, 5
101	A	HM	3'-0"	6'-8"	1 3/4"	HM	1	1, 2
102	A	WD	3'-0"	6'-8"	1 3/4"	WD	1	1, 5
103	A	WD	2'-8"	6'-8"	1 3/4"	WD	2	1, 4
104	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2
105	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
106	A	WD	2'-8"	6'-8"	1 3/4"	WD	2	1, 2
107	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
108	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
109	A	WD	2'-8"	6'-8"	1 3/4"	WD	2	1, 2, 7
110	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2, 3
111	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
112	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
113	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
218 BARGER CIR.								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 5
101	B	HM	5'-10"	6'-8"	1 3/4"	WD	(2)	1, 2
102	A	WD	1'-8"	6'-8"	1 3/4"	WD	3	1, 2
103	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
104	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
105	A	WD	1'-6"	6'-8"	1 3/4"	WD	3	1, 2
106	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
107	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
108	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
109	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2
110	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
111	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
817 RIVERWALK WAY								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
101	A	WD	2'-8"	6'-8"	1 3/4"	WD	1	1, 2
102	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
103	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
104	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
105	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
106	A	WD	1'-6"	6'-8"	1 3/4"	WD	3	1, 2
107	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
108	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
109	B	WD	5'-0"	6'-8"	1 3/4"	WD	4	1, 2
110	B	WD	5'-0"	6'-8"	1 3/4"	WD	4	1, 2
111	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2
112	B	WD	5'-0"	6'-8"	1 3/4"	WD	4	1, 2
1620 HOLLINGSWED RD.								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 5, 9

OPNG. No.	ELEV.	DOOR			FRAME MAT'L	HARD-WARE	NOTES	
		MAT'L	WIDTH	HEIGHT				THKNESS
1620 HOLLINGSWED RD. (CONTINUED)								
101	A	HM	2'-8"	6'-8"	1 3/4"	WD	1	1, 2
102	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
103	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
104	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 5
105	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 5
106	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 5
107	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
108	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
109	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
110	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
111	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
112	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 5
113	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
2317 HILLBECK DR.								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
101	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
102	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
103	A	WD	1'-6"	6'-8"	1 3/4"	WD	3	1, 2
104	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
105	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
106	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
107	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
108	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2
109	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
110	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2
111	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2
112	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
113	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
114	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
115	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
116	A	WD	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
4232 DONAVAN DR.								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
101	A	HM	2'-8"	6'-8"	1 3/4"	WD	1	1, 2
102	A	-	-	-	-	-	-	REMOVE AND INFILL DOOR - SEE A107
103	A	HM	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
104	A	WD	1'-6"	6'-8"	1 3/4"	WD	3	1, 2
105	A	HM	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
106	A	HM	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
107	A	HM	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
108	A	HM	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
109	A	HM	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
110	A	HM	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
111	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
112	A	HM	2'-0"	6'-8"	1 3/4"	WD	2	1, 6
4316 LEEDS ST.								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
101	A	HM	2'-8"	6'-8"	1 3/4"	WD	1	1, 2
102	A	WD	3'-0"	6'-8"	1 3/4"	WD	2	1, 2
103	A	HM	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
104	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
105	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2, 8
106	A	WD	1'-6"	6'-8"	1 3/4"	WD	3	1, 2
107	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 5
108	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 5
109	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
110	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
111	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
4817 FAULKLAND RD.								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
101	A	HM	6'-0"	6'-8"	1 3/4"	WD	1	1, 2
102	A	HM	2'-8"	6'-8"	1 3/4"	WD	1	1, 2
103	A	HM	3'-0"	6'-8"	1 3/4"	WD	1	1, 2
104	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
105	A	WD	2'-6"	6'-8"	1 3/4"	WD	3	1, 2
106	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
107	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
108	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
109	A	WD	3'-0"	5'-4"	1 3/4"	WD	2	1, 2
110	B	WD	2'-0"	6'-8"	1 3/4"	WD	4	1, 2
111	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
112	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
113	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 5

OPNG. No.	ELEV.	DOOR			FRAME MAT'L	HARD-WARE	NOTES	
		MAT'L	WIDTH	HEIGHT				THKNESS
4817 FAULKLAND RD. (CONTINUED)								
114	A	WD	2'-0"	6'-8"	1 3/4"	WD	3	1, 2
115	A	WD	2'-6"	6'-8"	1 3/4"	WD	2	1, 2
116	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
117	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
118	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
119	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
120	A	WD	2'-0"	6'-8"	1 3/4"	WD	2	1, 2
ROSEWOOD HILLS DR. PROPERTIES AND SIMILAR (7 PROPERTIES) - SEE SHEET A110								
100	A	HM	3'-0"	6'-8"	1 3/4"	WD	-	1, 2
101	A	HM	3'-0"	6'-8"	1 3/4"	WD	-	1, 2
102	-	-	-	-	-	-	-	1, 2
103	A	WD	2'-4"	6'-8"	1 3/4"	WD	-	1, 2
104	A	WD	2'-6"	6'-8"	1 3/4"	WD	-	1, 2
105	A	WD	3'-0"	6'-8"	1 3/4"	WD	-	1, 2
106	B	WD	4'-0"	6'-8"	1 3/4"	WD	4	1, 2
107	A	WD	2'-8"	6'-8"	1 3/4"	WD	-	1, 2
108	A	WD	2'-8"	6'-8"	1 3/4"	WD	-	1, 2
200	A	HM	3'-0"	6'-8"	1 3/4"	WD	-	1, 2
201	A	WD	3'-0"	6'-8"	1 3/4"	WD	-	1, 2
202	A	WD	2'-6"	6'-8"	1 3/4"	WD	-	1, 2
202A	B	WD	6'-0"	6'-8"	1 3/4"	WD	4	1, 2
202B	A	WD	2'-6"	6'-8"	1 3/4"	WD	-	1, 2
202C	A	WD	2'-4"	6'-8"	1 3/4"	WD	-	1, 2
203	A	WD	2'-6"	6'-8"	1 3/4"	WD	-	1, 2
203A	B	WD	4'-0"	6'-8"	1 3/4"	WD		

**LIGHT FIXTURE SCHEDULE**

FIXTURE TYPE	FIXTURE	COMMENTS
F1	I-LUMINOSITY MODEL: ILPLMIHO-SQ-24W-3000K-WH	SIZE: 12"
F2	I-LUMINOSITY MODEL: ILSCPWNC-15W-3000K-AL	SIZE: 18"
F3	LITHONIA MODEL: 11430-RE-WH	WHITE

**PLUMBING FIXTURE SCHEDULE**

FIXTURE TYPE	FIXTURE
L-1	"AMERICAN STANDARD" MODEL: 0476.037 AQUALYN LAVATORY, VITREOUS CHINA, DROP-IN, FRONT OVERFLOW, FAUCET LEDGE, FAUCET HOLES ON 4" CENTERS.  "SYMMONS" MODEL #5-60-H SINGLE HANDLE METERING LAVATORY FAUCET WITH VANDAL RESISTANT 0.5GPM FLOW RESTRICTOR.  "SYMMONS" MODEL #5-120-CK POINT-OF-USE THERMOSTATIC MIXING VALVE WITH INTEGRAL CHECKS. (SET TEMP. SHALL NOT EXCEED 110 DEGREES F).  "MCGUIRE" MODEL #PA21502C PRO SEAMLESS PRE-WRAPPED ADJUSTABLE P-TRAP KIT WITH PRE-WRAPPED PRO-DRAIN OFFSET GRID STRAINER.  PROVIDE CHROME PLATED RISER TUBES.
SK-1	"ELKAY" MODEL #LRAD3322 STAINLESS STEEL DOUBLE BOWL SINK, SINK IS SEAMLESSLY DRAWN OF #18 GAUGE, TYPE 304 STAINLESS STEEL.  "SYMMONS" MODEL #5-23-1.5 SYMMETRIX SINGLE LEVER KITCHEN FAUCET WITH CERAMIC CONTROL COMPONENTS AND HANDLE LIMIT STOP, 8-1/2" SWING SPOUT WITH AERATOR, 3/8" SUPPLIES, POLISHED CHROME FINISH.  "SYMMONS" MODEL #5-210-CK POINT-OF-USE THERMOSTATIC MIXING VALVE WITH INTEGRAL CHECKS. (SET TEMPERATURE SHALL NOT EXCEED 110 DEGREES F).  PROVIDE CHROM-PLATED P-STRAPS, TAILPIECES, ANGLES STOPS, ESCUTCHEONS AND RISER TUBES AS REQUIRED.
BT-1	"KOHLER" MODEL: #K-838 (RIGHT-SIDE DRAIN) OR K-837 (LEFT-SIDE DRAIN) BELLWETHER ALCOVE CAST IRON BATH  "KOHLER" MODEL #K-PLS15601 FAUCETS - SEE SPEC  MIXING VALVE: PRESSURE BALANCED WITH INTEGRAL STOPS SHOWER HEAD: 1.5 GPM WITH WALL SHOWER HEAD FITTING. TUB SPOUT: WALL MOUNTED WITH FULL-UP DIVERTER.  PROVIDE 3-SIDED TUB SURROUND FROM TUB TO CEILING; COLOR TO MATCH NEW TUB.
WC-1	FIXTURES: a. AMERICAN STANDARD. b. KOHLER. c. MANSFIELD. d. SLOAN. e. ZURN.  SEATS: a. BEMIS. b. BENEKE. c. CENTOCO. d. CHURCH. e. OLSONITE  MATERIALS (UNLESS OTHERWISE NOTED): A. FIXTURE, WHITE VITREOUS CHINA. B. SEAT, EXTRA HEAVY DUTY ANTIMICROBIAL FIRE RETARDANT PLASTIC SEAT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE.  FLOOR OUTLET TOILET: ELONGATED BOWL, SIPHON JET, 1.1 -1.6 GPF COMPATIBLE, 1,000 GRAM MAP SCORE RATED, 1,000 LB. STATIC LOAD RATING ON END OF BOWL, 10" - 12" ROUGH-IN RANGE, TOP SPUD INLET, 15" -16" FINAL SEAT HEIGHT. REFER TO ARCHITECTURAL DRAWINGS FOR INSTALLATION DIMENSIONS.
SB-1	"DREAMLINE" MODEL: #DLT-1036541 SLIMLINE SHOWER BASE (LEFT DRAIN) 54"W x 36"D x 2 3/4"H.  COMPONENTS AND CONTROLS FOR UNIT SHOWER BASE/PAN (SB-1):  "MOEN" MODEL #L2362NH SHOWER TRIM (LESS SHOWERHEAD) AND SHOWER VALVE WITH SCREWDRIVER STOPS. (SET HANDLE LIMIT STOP TO NOT EXCEED 115° F)  "MOEN" MODEL #3063 ENVI HAND-HELD SHOWER (1.75 GPM) WITH VACUUM BREAKER AND 30" SLIDE BAR. ALSO FURNISH AND INSTALL A MOEN MODEL #AT25 DROP ELL.

**EXHAUST FAN SCHEDULE**

ITEM TAG	MANUFACTURER AND MODEL NUMBER	CFM	ESP	SONES	ELECTRICAL DATA			CONTROLLED VIA	DAMPER TYPE	AREA SERVING	UNIT WEIGHT (LBS)	REMARKS
					VOLT-PH-HZ	HP	RPM					
EF-1	NITONE HB80RL	80	0.10	2.5	120-1-60	-	-	WALL SWITCH	INTEGRAL GRAVITY	SEE PLAN	7	ALL

**REMARKS**

- VERIFY EXACT VOLTAGE PRIOR TO ORDERING EQUIPMENT.
- ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCH AND LINE WIRING.
- PROVIDE HOODED WALL CAP, BRICK VENT, PITCHED ROOF CAP, OR FLAT ROOF CAP AS REQUIRED.
- THE EQUIPMENT SCHEDULED IS TO SET STANDARDS, INTENTION IS "OR EQUAL" PENDING APPROVED SUBMITTALS. APPROVED ALTERNATIVES INCLUDE, BUT ARE NOT LIMITED TO: LOREN COOK, GREENHECK, TWIN CITY, AND ACME.



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Date  
JMK  
Appr.

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