

REQUEST FOR QUOTE



ANNEX RENOVATIONS
2133 Walker Solomon Way
Columbia, SC

PROPOSAL DUE DATE:

Thursday, September 2, 2021
2:00 PM Local Time

**COLUMBIA HOUSING
REQUEST FOR QUOTE
ANNEX RENOVATION**

GENERAL

The Housing Authority of the City of Columbia, South Carolina (Columbia Housing or CH) hereby requests Quotes from General Contractors to renovate Columbia Housing Annex Office Building located 2133 Walker Solomon Way, Columbia, South Carolina.

Proposals will be accepted until September 2, 2021 at 2:00 PM Local Time.

Columbia Housing reserves the right to waive minor informalities and to reject any or all proposals. Columbia Housing will make selections and award a contract for Annex Renovations. Columbia Housing reserves the right to select the firm that Columbia Housing deems most qualified to perform the required services.

The RFQ Package may be downloaded from the website:

<https://www.columbiahousingsc.org/procurement-postings>. Proposals shall be submitted in accordance with the provisions set forth in this request.

PURPOSE

The purpose of this solicitation is to contract with a General Contractor for Annex Renovations. Drawings with specifications were prepared by 1x1 Architecture and H2L Engineering.

PREBID VISIT

There will be a pre-bid visit on site August 26, 2021 at 2PM.

SUBMITTAL FORMAT

Proposals must be submitted electronically via e-mail to adalenburg@columbiahousingsc.org or a flash/jump drive delivered to the brown drop box at Columbia Housing, 1917 Harden Street, Columbia, SC 29204. Packages must be marked with "Annex Renovations" and addressed to Adam Dalenburg, Capital Asset Manager. **Hard copy submittals will not be accepted.**

Per Columbia Housing policies and procedures, HUD regulations, and Federal, State, and Local laws and codes, the following will be required with submission:

- Non-Collusive Affidavit
- Certification for a Drug Free Workplace (HUD 50070)
- Certificate of Section 3 Compliance
- MBE Participation Certification
- Piggyback Clause

The following will be required upon contract signing:

- Contract / Formal Agreement
- HUD Form 5370 EZ (Total contracts greater than \$2,000 not to exceed \$150,000)
- HUD 5370 (Total contracts exceeding \$150,000)
- Insurance Certificate(s)
- Business License
- W-9
- Direct Deposit Form

QUESTIONS

Written questions shall be submitted NLT 2PM August 27, 2021 via email to adalenburg@columbiahousingsc.org. Responses will be posted by August 31, 2021.

SCOPE OF WORK

The scope of work is based on the drawings and specifications. Included in the bid must be a time-line without actual dates. CH envisions this project to start in the month of soon after award.

CONTRACT AWARD

The contract will be awarded within 5 working days of submission. The NTP will be issued directly after the signed contract.

LIQUIDATED DAMAGES

A timeline will be discussed directly with the chosen contractor and liquid damages date will be set at that time with \$500/day after set completion date.

INSURANCE

The selected respondent shall provide a certification of insurance, which meets or exceeds the following limits and lists The Housing Authority of the City of Columbia as additional insured.

TYPE OF COVERAGE	LIMITS OF LIABILITY
Worker’s Compensation – Statutory	Required over and above SC State requirements and regardless of the number of employees
Employer’s Liability	\$25,000 One Accident & Aggregate Disease
COMPREHENSIVE GENERAL LIABILITY:	
Bodily Injury and Personal Injury	\$100,000 ea. person – Premise & Operations \$100,000 ea. person – Independent Contractors *\$100,000 ea. person – Products, including completed operations* \$100,000 ea. person – Contractual, to include Owner & Architect \$300,000 ea. Occurrence: \$300,000 ea. Aggregate: Products, including completed operations to include Owner & Architect
Property Damage	\$ 50,000 ea. Occurrence: Premises & Operations \$ 50,000 ea. Occurrence: Independent Contractors \$ 50,000 ea. Occurrence: Products, including completed operations \$ 50,000 ea. Occurrence: Contractual, to include Owner & Architect \$100,000 Aggregate \$300,000 Aggregate: Operations; protective products; contractual, to include Owner & Architect
COMPREHENSIVE AUTOMOBILE LIABILITY	
(Includes owned, non-owned, hired)	
(A) Bodily Injury	\$150,000 ea. person \$300,000 ea. Occurrence
(B) Property Damage	\$ 50,000 ea. Accident

* Shall be carried for a minimum of one (1) year after completion of the Agreement.

** Coverage shall include owned, non-owned, and hired automobiles

SECTION 3 REQUIREMENTS

TRAINING AND EMPLOYMENT OF SECTION 3 HIRES

Qualified Applicants

Through its Resident Services Programs, Columbia Housing will work with Service Partners that offer job readiness programs and training in day-to-day employment skills and apprenticeship programs to establish a pool of qualified applicants for referral to contractors procured by Columbia Housing.

The Resident Services Staff will identify and maintain a list of Section 3 Residents interested in employment and training opportunities. Columbia Housing will conduct preliminary screening of all applicants referred to contractors. This screening shall include a criminal background check and a drug screening, as applicable. Columbia Housing will match applicant skills to the available Section 3 positions and issue a formal referral to the corresponding contractor.

Applicants for available positions shall be referred in the order listed below.

1. Current or former residents of the property where the work is to be performed. Former residents are defined as individuals listed on a CH lease agreement at the time the property was vacated.
2. Current residents of other properties owned by Columbia Housing.
3. Participants of the Housing Choice Voucher Program administered by Columbia Housing.
4. Other qualified Section 3 residents of the City of Columbia.
5. Other qualified Section 3 residents of Richland County.
6. Other qualified Section 3 residents of Lexington County.

Contractor Requirements - Section 3 Employees

Contractors and subcontractors shall be required to submit a notice of intent to comply with the Section 3 regulations within all contracts. The notice is to be sent to Columbia Housing Resident Services Department. The notice is also to be posted in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference. The notice shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each and the

name and location of the persons receiving the referrals for each of the positions, and the anticipated date the work shall begin.

The contractor shall, to the greatest extent feasible, give preference to Section 3 Residents when hiring any full-time employee for permanent, temporary or seasonal employment under the contract. Contracts in excess of \$250,000 shall have an establishment number of Section 3 positions to be created under the contract. The contractor will be deemed to be in compliance with the training and employment requirements of the Section 3 Policy if 50% or the stated number in the applicable solicitation or contract, of new hires are Section 3 Residents from Columbia Housing communities or programs. The contractor is responsible for complying with the requirements of this policy in its own operations and for assuring compliance in the operations of its subcontractors.

Contract Preference for Section 3 Business Concerns

The contractor shall, to the greatest extent feasible, give preference to Section 3 Business Concerns when entering into any contract for the work of the Project. The Contractor will be deemed to be in compliance with the contract preference for Section 3 Business Concerns if it commits to award to Section 3 Business Concerns at least 30% of the total dollar amount of the Contract.

Certifications and Assurances

The form of contract executed by Contractors/Subcontractors will include the requirements set forth in this policy.

Marketing Efforts

Columbia Housing will market the Section 3 policies to Residents and Program Participants through posting of information on its website; posting of notices at CH offices and developments; and issuance of flyers describing employment and training opportunities.

CH will also provide notices at strategic locations within the community where people gather (i.e., schools recreational facilities, and area churches). CH will also inform community leaders, contractors, political leaders and interested community organizations of the Section 3 and MBE/WBE hiring commitments.

Reporting

The contractor shall submit to CH a completed Monthly Employee/Business Concern Utilization Report in a format determined by CH each month throughout the contract period. The contractor shall promptly provide to CH at its request, any such other

information or reports which CH may require and shall permit access to the job site and to any books, records, accounts and/or other material deemed by CH to be necessary to monitor the contractor's compliance with this Policy.

Termination

The contractor or any of its subcontractors may terminate the employment of a Section 3 Resident or the contract of a Section 3 Business Concern for good cause, provided that the contractor or subcontractor first notifies CH in writing of the proposed termination and the specific reasons for dismissal. If any Section 3 Resident employed by the contractor or a subcontractor pursuant to this Provision leaves or is terminated from such employment, or if any Section 3 Business Concern fails to perform under its contract or its contract is terminated, CH shall require the contractor and/or its subcontractor to employ another Section 3 Resident or contract with another Section 3 Business Concern in order to remain in compliance with the requirements of this Policy.

Department of Labor Requirements

Contractors subject to the Section 3 Resident Employment Provision are also required to comply with Executive Order 11246, as amended by Executive Order 12036 and the Department of Labor regulations issued pursuant thereto (41 CFR chapter 60), which provide that no person shall be discriminated against on the basis of race, color, religion, sex, or national origin in all phases of employment during the performance of Federal or Federally-assisted construction contracts.

Sanctions

If contractors or subcontractors do not comply with Section 3 mandates, CH will address the issues promptly. All sanctions against any contractor should be based on language in the signed contract.

Performance Standards

On each construction job site, it is expected from the contractor/subcontractors, that all referred and hired Section 3 Residents will be treated with the same respect and consideration that is demonstrated toward non-Section 3 Residents.

At no time should there be any disparity in hours worked per day, nor days worked per week, unless both contractor and employee agree upon it. Violation of these performance standards by the general contractor and its subcontractors will be interpreted as violation of contract agreement.

Payment in Lieu of Section 3 Hires

If a contractor is unable to meet the required Section 3 goals specified under their contract or in this policy, for any of the following reasons, Columbia Housing, at its sole discretion may approve a payment in lieu of Section 3 hires.

1. There are no new hires throughout the life of the contract.
2. The contract is of a highly technical nature and requires a high level of technical knowledge and/or skills for which there are no qualified Section 3 applicants.
3. CH Resident Services has been unable to provide referrals with the necessary skills for the available positions under the contract and the Contractor has made every effort to identify qualified Section 3 applicants.

The payment in lieu of Section 3 hires shall apply to all contracts in excess of \$10,000 and shall be 3% of the total contract amount. All funds received under the Payment in Lieu of Section 3 hires shall be directed restricted for the Resident Services Department and shall be utilized solely for job readiness and employment training for Columbia Housing residents or program participants.

BID FORM

I hereby acknowledge the latest Addendum: # _____.

As well as the premises and conditions affecting the work, proposes to furnish all services, labor, materials and equipment called for by drawings and specifications for the entire work in accordance with said documents, for the following prices:

Total Bid: \$ _____

It is understood that, before a proposal is considered for award, Bidder may be requested by the Columbia Housing Authority to submit a statement of facts in detail as to his previous experience in performing similar or comparable work, and of his business and technical organization and financial resources and plant available to be used in performing contemplated work.

Respectfully submitted this _____ day of _____,

Authorized Signature



Bidder's Name: _____

Address: _____

State of South Carolina Contractors License No:

Bidder's License No:

By: _____

Title: _____

SEAL IF BIDDER IS A CORPORATION

NON-COLLUSIVE AFFIDAVIT

STATE OF SOUTH CAROLINA

COUNTY OF RICHLAND

_____, being first duly sworn, deposes
and says:

THAT HE/SHE IS _____ (*a partner or officer of the firm of, etc.*) the party making the foregoing proposal or bid; that such proposal or bid is genuine and not collusive nor sham; that said bidder has not colluded, conspired, connived nor agreed, directly or indirectly, with any bidder or person, to put in a sham bid or to refrain from bidding; and has not in any manner, directly or indirectly, sought by agreement of collusion, or communication or convergence, with any person, to fix the bid price of affiant or of any other bidder; nor to fix any overhead, profit, or cost element of said bid price, nor of that of any other bidder; nor to secure any advantage against THE HOUSING AUTHORITY OF THE CITY OF COLUMBIA, SOUTH CAROLINA, or any person interested in the proposed contract; and that all statements in said proposal or bid are true.

Signatures of:

BIDDER, if the Bidder is an individual:

PARTNER, if the Bidder is a partnership:

OFFICER, if the Bidder is a corporation:

SUBSCRIBED AND SWORN TO BEFORE ME

This _____ day of _____, 20_____

(Notary Public)

My Commission expires: _____

Certification for a Drug-Free Workplace

U.S. Department of Housing and Urban Development

Applicant Name

Program/Activity Receiving Federal Grant Funding

Acting on behalf of the above named Applicant as its Authorized Official, I make the following certifications and agreements to the Department of Housing and Urban Development (HUD) regarding the sites listed below:

I certify that the above named Applicant will or will continue to provide a drug-free workplace by:

a. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the Applicant's workplace and specifying the actions that will be taken against employees for violation of such prohibition.

b. Establishing an on-going drug-free awareness program to inform employees ---

- (1) The dangers of drug abuse in the workplace;
- (2) The Applicant's policy of maintaining a drug-free workplace;
- (3) Any available drug counseling, rehabilitation, and employee assistance programs; and
- (4) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace.

c. Making it a requirement that each employee to be engaged in the performance of the grant be given a copy of the statement required by paragraph a.;

d. Notifying the employee in the statement required by paragraph a. that, as a condition of employment under the grant, the employee will ---

- (1) Abide by the terms of the statement; and
 - (2) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;
- e. Notifying the agency in writing, within ten calendar days after receiving notice under subparagraph d.(2) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position title, to every grant officer or other designee on whose grant activity the convicted employee was working, unless the Federal agency has designated a central point for the receipt of such notices. Notice shall include the identification number(s) of each affected grant;

f. Taking one of the following actions, within 30 calendar days of receiving notice under subparagraph d.(2), with respect to any employee who is so convicted ---

- (1) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or
- (2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;

g. Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs a. thru f.

2. Sites for Work Performance. The Applicant shall list (on separate pages) the site(s) for the performance of work done in connection with the HUD funding of the program/activity shown above: Place of Performance shall include the street address, city, county, State, and zip code. Identify each sheet with the Applicant name and address and the program/activity receiving grant funding.)

Check here if there are workplaces on file that are not identified on the attached sheets.

I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate.

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Name of Authorized Official	Title
Signature	Date
X	

CERTIFICATE OF SECTION 3 COMPLIANCE

I certify that I have reviewed and fully understand the attached Section 3 Specification Clause and program and will demonstrate compliance to the "greatest extent feasible" to meet the numerical goal of 30% new hires. I further certify that I have and will make every reasonable effort to purchase from those small businesses located within the boundaries of the Section 3 covered project area and further, will take concrete steps to expand resident training and employment opportunities such as, asking if residents are aware of available training and employment positions, encouraging residents to participate in the job application process, and actually employing Section 3 area residents. Furthermore, I will contact the Housing Authority to obtain listings of available individuals to fill my labor needs, if any such needs arise, for the duration of this contract.

Principal Officer of Bidding Company

Date

END OF DOCUMENT

MBE PARTICIPATION CERTIFICATION

I certify that I have reviewed and fully understand the attached Columbia Housing Authority MBE requirements and will take the five affirmative steps listed and make a GOOD FAITH EFFORT to achieve the MBE participation goal.

Principal Officer of Bidding Company

Date

END OF DOCUMENT

PIGGYBACK CLAUSE FORM

Piggybacking is when an existing contract is used by another governmental agency to acquire the same commodities or services at the same or lower price from another public entity contract.

Columbia Housing shall permit Piggybacking on all contracts resulting from a formal solicitation including a Competitive Bid; a Request for Proposals and/or a Request for Qualifications under the following provisions.

For the term of the contract period resulting from this solicitation and any mutually agreed upon extensions pursuant to this request for goods and/or services, at the option of the vendor, other Public Housing Authorities, any public corporation or agency, including any town, city, county, or state agency, may purchase or contract for the same goods and/or services identified upon the same terms and conditions or such terms and conditions as may be negotiated with the vendor pursuant to the applicable joint, permissive and interstate cooperative procurement statutes of the location in which such public corporation or agency is located.

Acceptance or rejection of this clause will not affect the outcome of this solicitation.

_____ *(Initial)* Vendor hereby grants the Piggyback option for this solicitation.

_____ *(Initial)* Vendor does not grant the Piggyback option for this solicitation.

Vendor: _____

Name of Authorized Representative: _____

Signature: _____ Date: _____

COLUMBIA HOUSING AUTHORITY

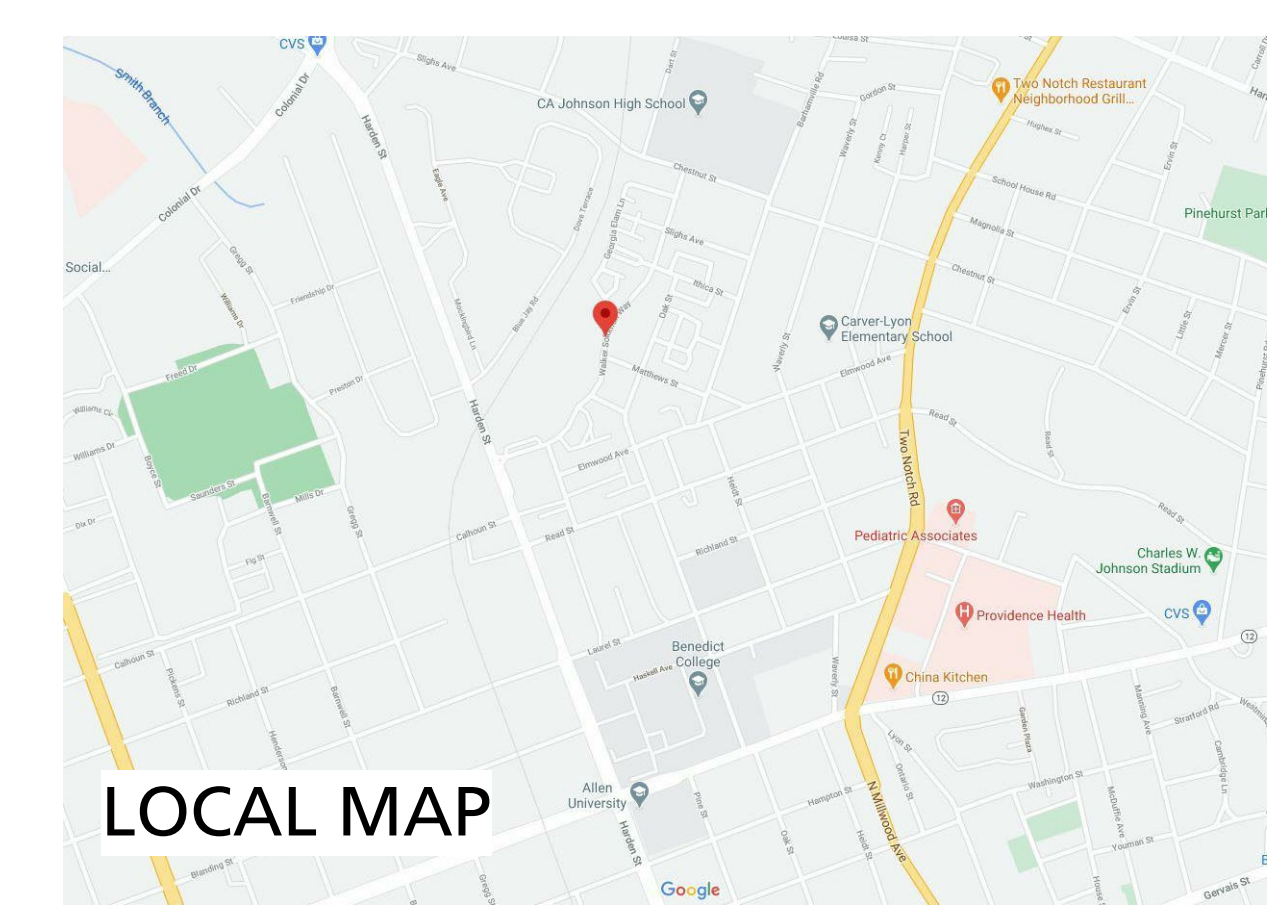
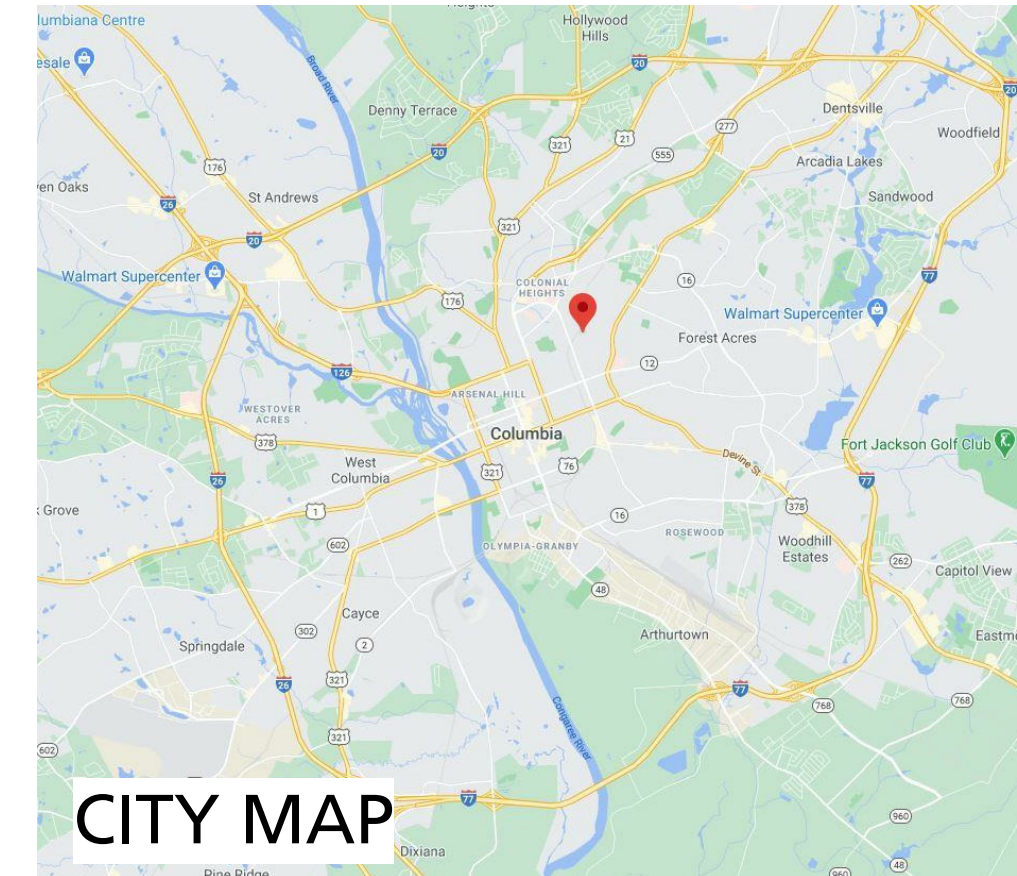
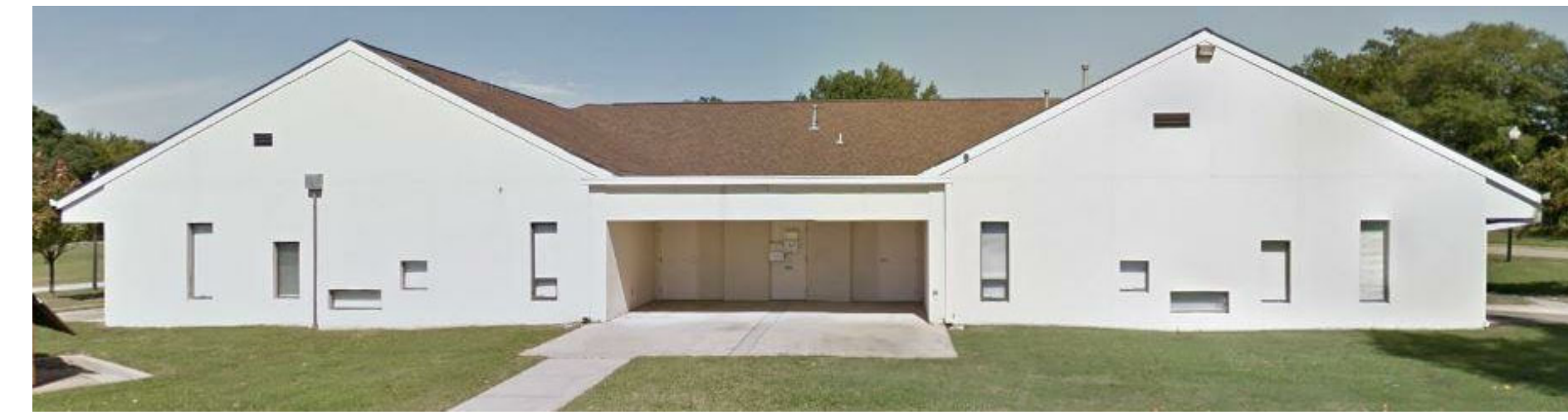
COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION

2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204



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DRAWING LIST	
SHEET NO.	Sheet Name
GENERAL	
CVR	COVER
G101	BUILDING CODE SUMMARY
G102	PARTITION TYPES
ARCHITECTURAL SITE	
A001	ARCHITECTURAL SITE PLAN
ARCHITECTURAL DEMOLITION	
AD101	DEMOLITION PLAN
AD102	DEMOLITION ATTIC PLAN
AD103	DEMOLITION ROOF PLAN
AD201	DEMOLITION RCP
ARCHITECTURAL	
A101	FLOOR PLANS
A102	ATTIC PLAN
A103	ROOF PLAN
A201	REFLECTED CEILING PLAN
A301	ENLARGED FLOOR PLANS
A401	ELEVATIONS
A501	BUILDING SECTIONS
A502	BUILDING SECTIONS
A601	WALL SECTIONS
A801	DOOR/WINDOW SCHEDULE
A901	FINISH SCHEDULE/MILLWORK
A902	MILLWORK
STRUCTURAL	
S1.0	LINTEL PLAN AND DETAILS
MECHANICAL	
M0.01	MECHANICAL COVER SHEET
M1.01	MECHANICAL DEMOLITION FLOOR PLAN
M1.02	MECHANICAL DEMOLITION ATTIC PLAN
M1.03	MECHANICAL FLOOR PLAN
M1.04	MECHANICAL ATTIC PLAN
PLUMBING	
P0.01	PLUMBING LEGEND AND SPECIFICATIONS
P1.01	PLUMBING SANITARY DEMOLITION PLAN
P1.02	PLUMBING DOMESTIC WATER DEMOLITION PLAN
P1.11	PLUMBING SANITARY PLAN
P1.12	PLUMBING DOMESTIC WATER PLAN
P2.01	PLUMBING DETAILS
ELECTRICAL	
E001	ELECTRICAL LEGEND AND SCHEDULES
E0101	POWER DEMO PLAN - FIRST FLOOR
E0201	LIGHTING DEMO PLAN - FIRST FLOOR
E101	ELECTRICAL RENOVATION POWER PLAN - FIRST FLOOR
E201	LIGHTING RENOVATION PLAN - FIRST FLOOR
E301	ELECTRICAL PANEL SCHEDULES



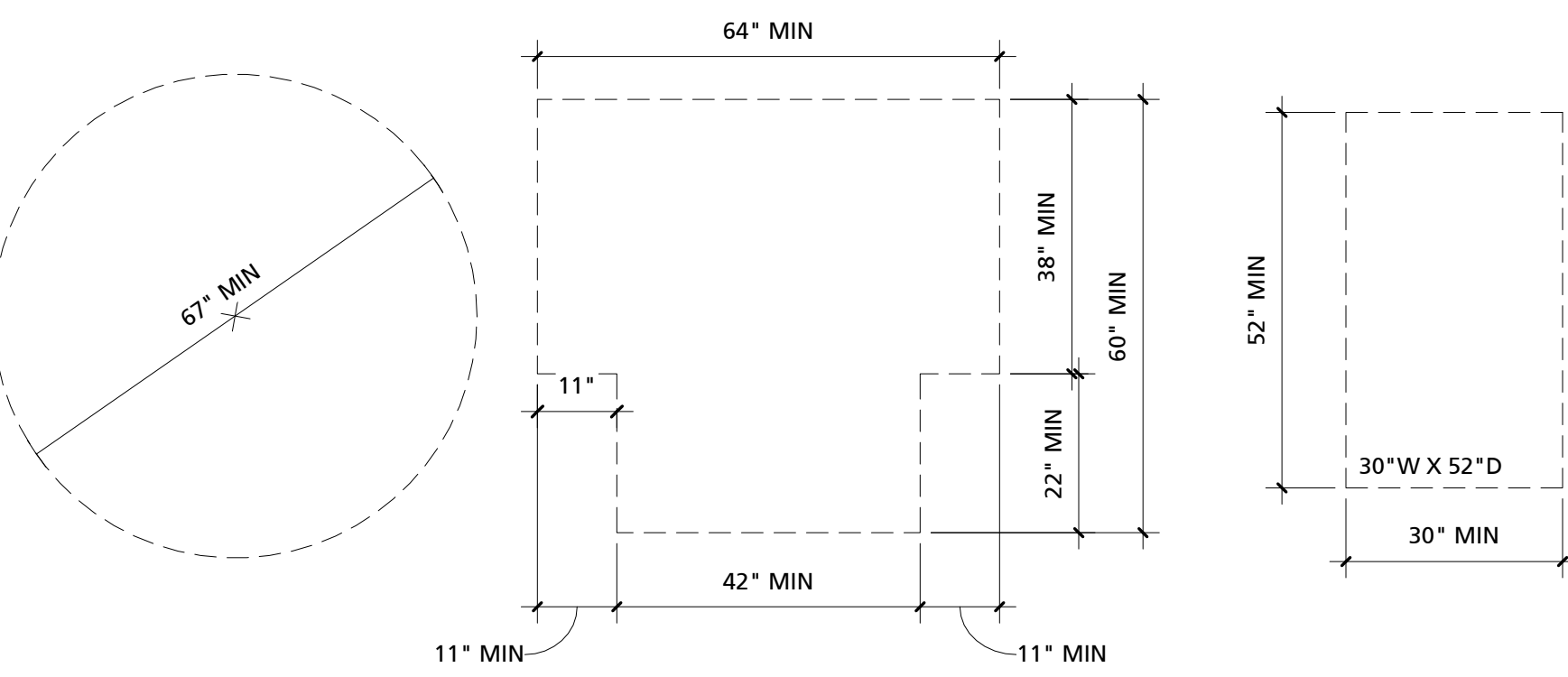
DRAWING CONVENTIONS

① View Name 1/8" = 1'-0"	VIEW INDICATOR
— LEVEL NAME ELEVATION	ELEVATION INDICATOR
☁	REVISION CLOUD
A	COLUMN GRID
1	BLOWUP DETAIL
① A101	REFERENCE SYMBOLS
① A101	WALL SECTION
① A101	ELEVATION
① A101	INTERIOR ELEVATION
① A101	DIMENSION CONVENTIONS
—	CENTER LINE
- - -	DEMOLISHED
- - -	HIDDEN
- - -	OVERHEAD
—	PROPERTY LINE
◆ — ◆	MATCH LINE
—	1 HOUR RATING
- - -	EXIT SEPARATION

DIAGRAMS BELOW BASED ON ICC/ANSI A117.1-2017

TURNING SPACE

REQUIRED WITHIN ALL ACCESSIBLE RESTROOMS

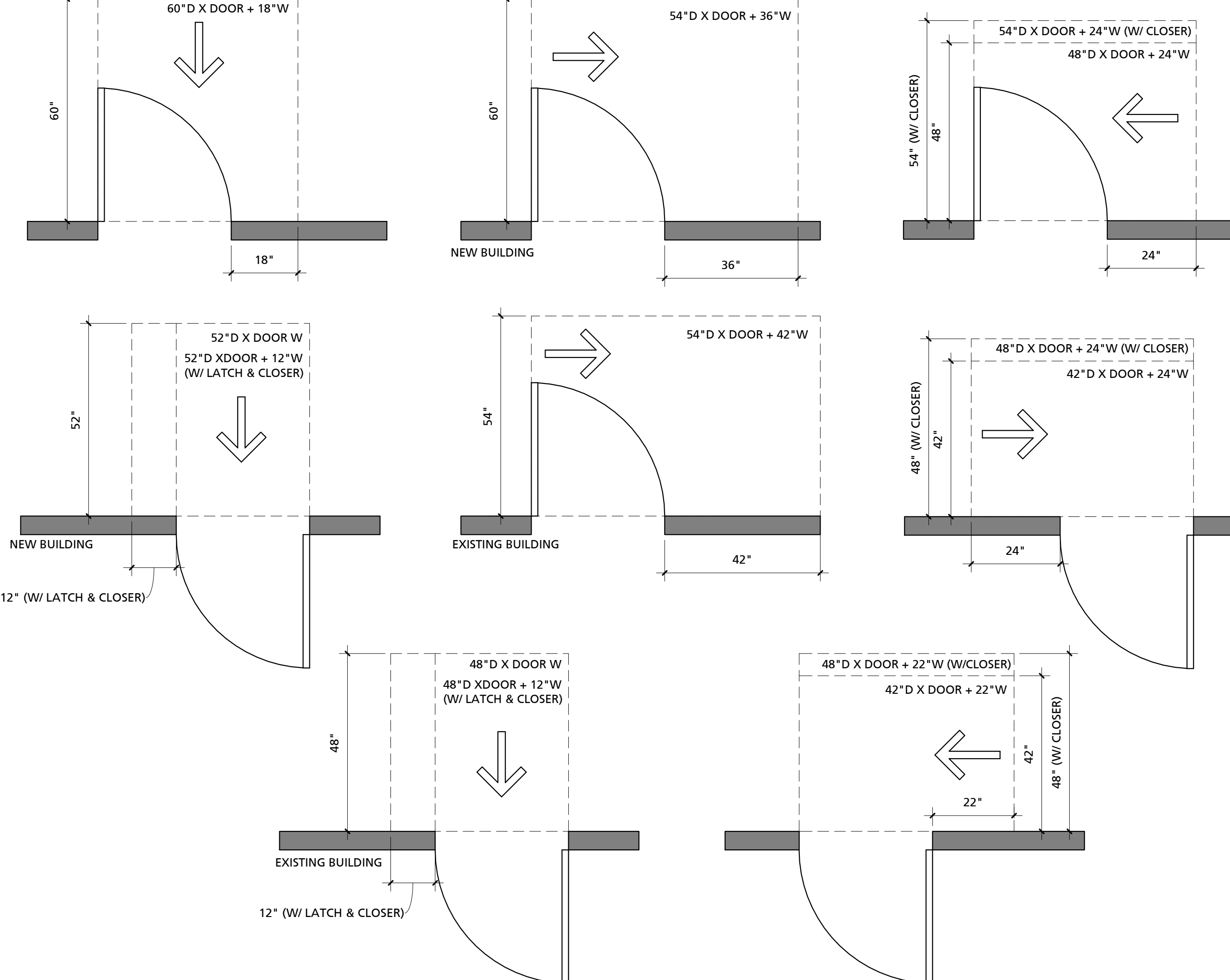


CLEAR FLOOR SPACE

REQUIRED AT ALL ACCESSIBLE LAVATORIES, TOILET COMPARTMENTS AND URINAL COMPARTMENTS

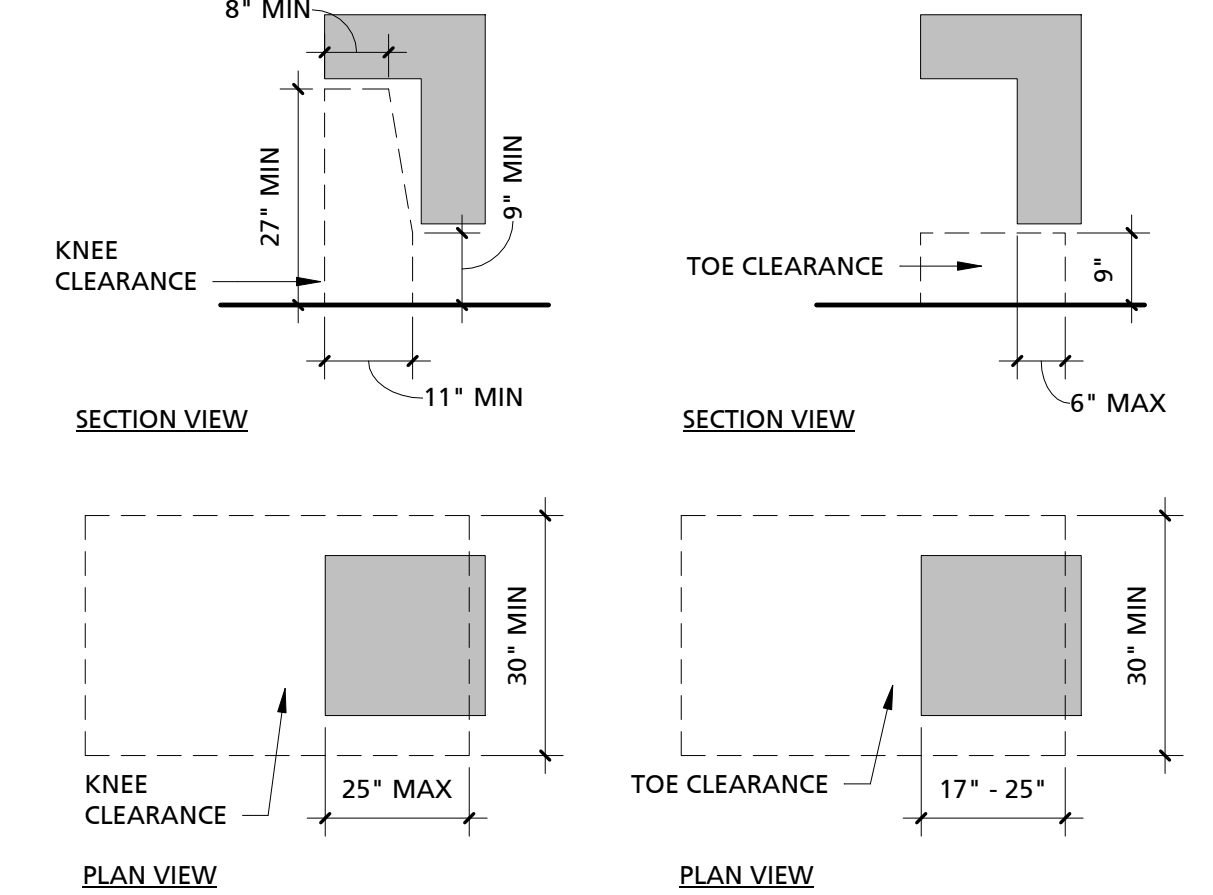
DOOR CLEARANCE

REQUIRED AT ALL ACCESSIBLE DOORS. ARROW INDICATES APPROACH.



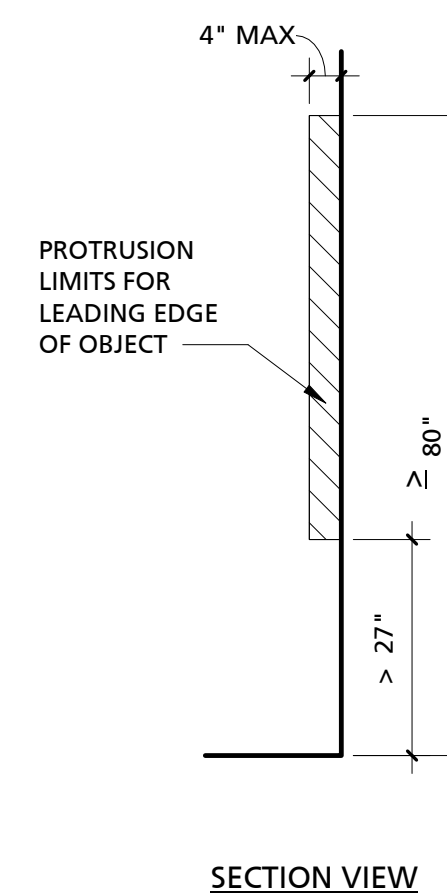
KNEE AND TOE CLEARANCE

REQUIRED AT ALL ACCESSIBLE LAVATORIES AND COUNTERS



PROTRUDING OBJECTS

REQUIRED FOR ALL WALL-MOUNTED OBJECTS LOCATED ALONG CIRCULATION PATHS



ABBREVIATIONS

AT ABOVE FINISH FLOOR	MECH MECHANICAL
APC ACOUSTICAL PANEL CEILING	MFR MANUFACTURER
ARCH ARCHITECTURAL	MIN MINIMUM
BLDG BUILDING	MP METAL PANEL
CL CENTERLINE	MTL METAL CORING
CLR CLEAR	NIC NOT IN CONTRACT
CO CASSED OPENING	NOM NOMINAL
CJ CONTROL JOINT	NTS NOT TO SCALE
CPT CARPET	OC ON CENTER
CTR CENTER	OPP OPPOSITE
CONC CONCRETE	OPNG OPENING
CMU CONCRETE MASONRY UNIT	P PAINT
DN DOWN	PEMB PRE ENGINEERED METAL BUILDING
DS DOWNSPOUT	PL PLASTIC LAMINATE
DWG DRAWING	PT PORCELAIN TILE
EFS EXTERIOR INSULATION AND FINISH	PTB PORCELAIN TILE BASE
EQIP EQUIPMENT	PTW PRESSURE TREATED WOOD
EL ELEVATION	PWDR POWDER ROOM
ELEC ELECTRICAL	RB RUBBER BASE
ELEV ELEVATOR	REQD REQUIRED
ESR EDGE STRIP	RD ROOF DRAIN
EWV ELECTRIC WATER COOLER	RMA RESILIENT MOLDING ACCESSORIES
EXP EXPOSED	SC SEALED CONCRETE
EXT EXTERIOR	SF SQUARE FEET
EXPT EXTERIOR PAINT	SIM SIMILAR
EXTG EXISTING	SPEC SPECIFICATIONS
FCD FLOOR CLEANOUT	SS SOLID SURFACES
FD FLOOR DRAIN	ST STUCCO
FE FIRE EXTINGUISHER	STD STANDARD
FEC FIRE EXTINGUISHER CABINET	STW STAIN WOOD
GC GENERAL CONTRACTOR	STR STRUCTURAL
GL EXTERIOR GLAZING	TOS TOP OF STEEL
GR GROUT	TYB TYPICAL
GT GLASS TILE	UNO UNLESS NOTED OTHERWISE
GWB GYPSUM BOARD	VIF VERIFY IN FIELD
HM HOLLOW METAL	VWC VINYL WALLCOVERING
HVAC HEATING, VENTILATION, AIR-CONDITIONING	W W/TH
INSUL INSULATION	WCO WALL CLEANOUT
LVT LUXURY VINYL TILE	WWF WELDED WIRE FABRIC
MAX MAXIMUM	XB X-BRACING
	XTR EXISTING TO REMAIN

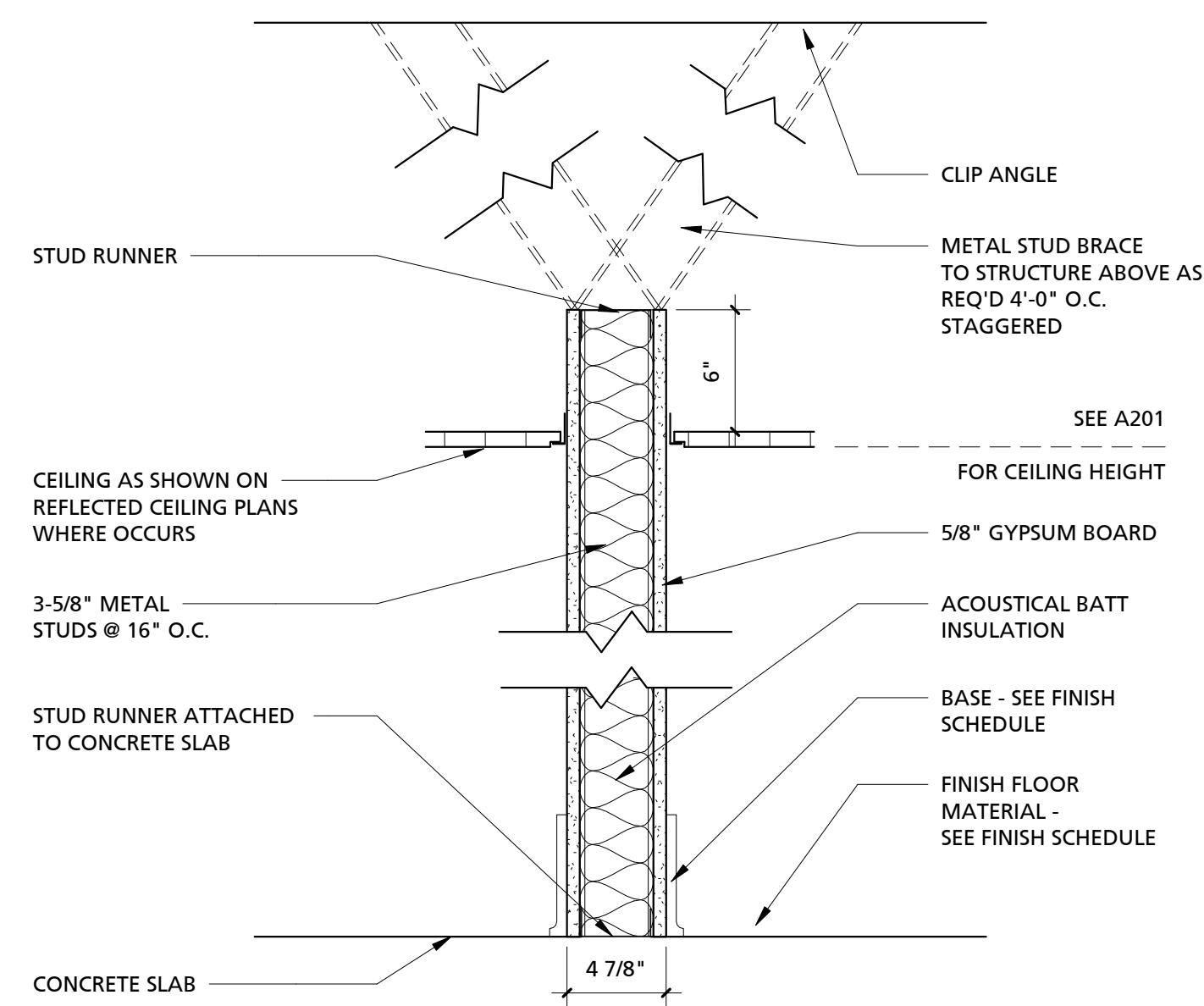
RELEASED FOR PLAN REVIEW AND BIDDING - MAY 4, 2021

COLUMBIA HOUSING AUTHORITY
COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

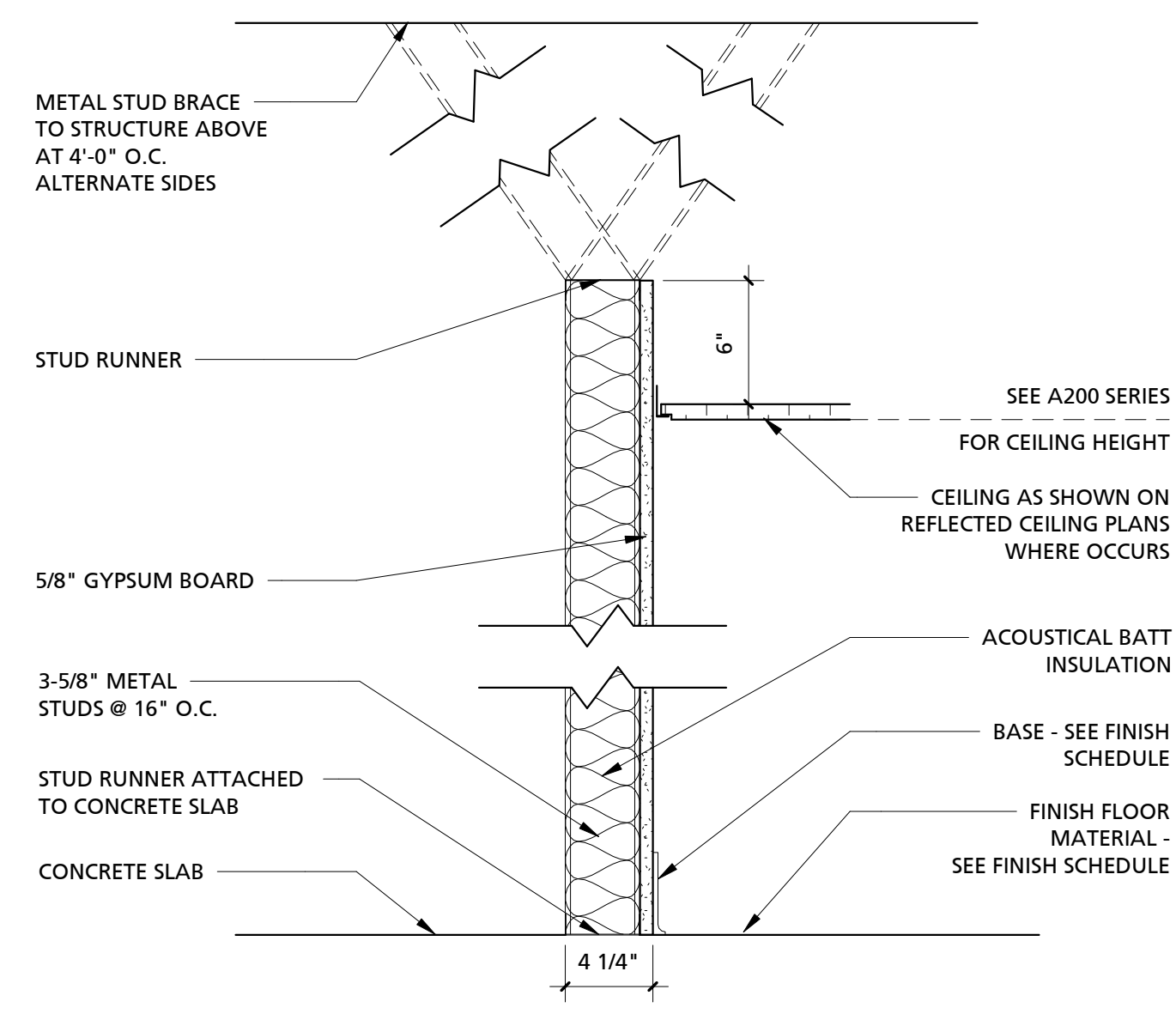
REVISIONS		
No.	Description	Date

CLIENT NAME: PROJECT NAME: PROJECT ADDRESS: PROJECT NUMBER: C-19-066-2 SHEET NUMBER: SHEET NAME: CVR DATE: 05/04/2021 1:46:08 PM

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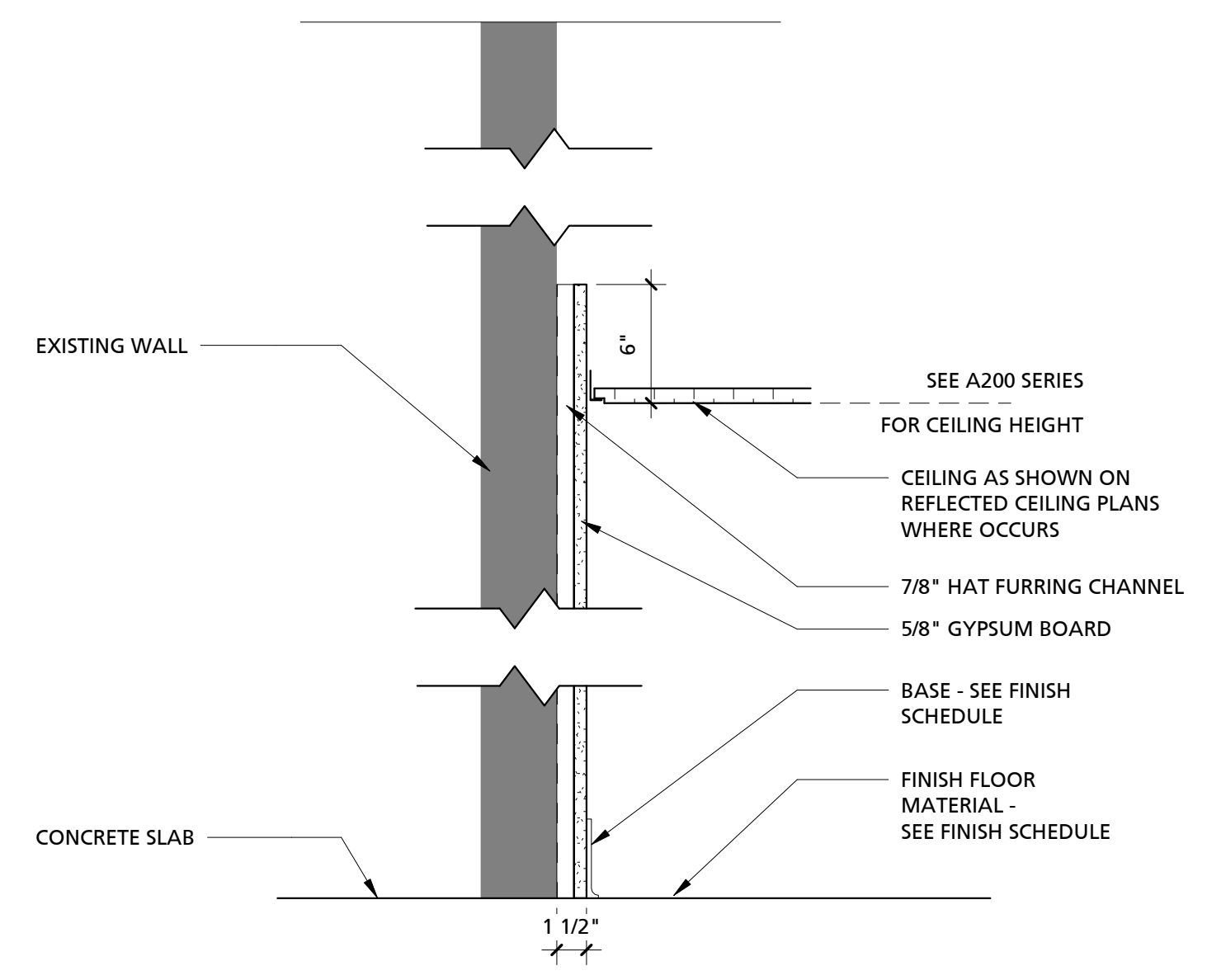
1 PARTITION
SCALE: 1 1/2" = 1'-0"



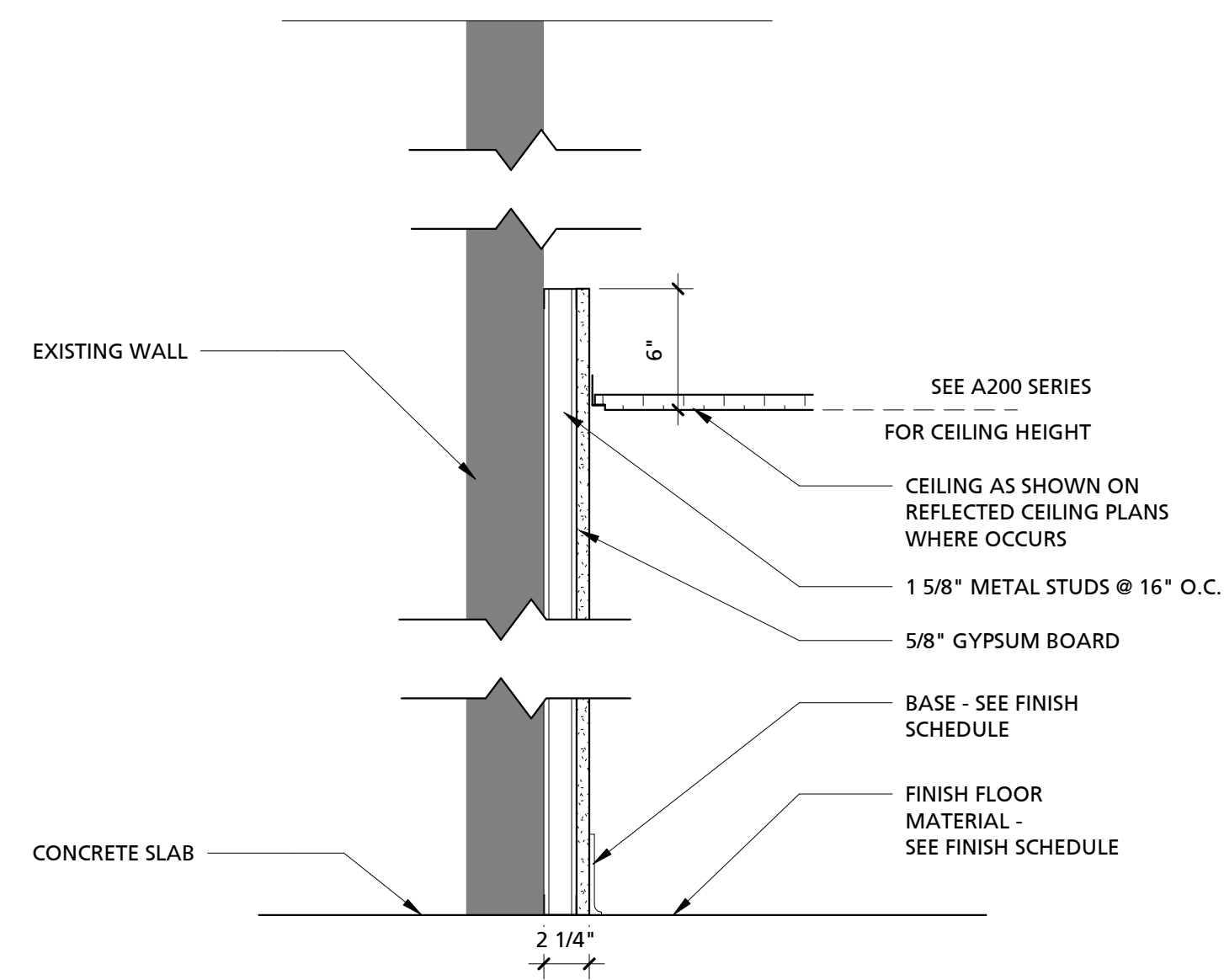
2 PARTITION
SCALE: 1 1/2" = 1'-0"

3 PARTITION
SCALE: 1 1/2" = 1'-0"

NOT USED



4 PARTITION
SCALE: 1 1/2" = 1'-0"



5 PARTITION
SCALE: 1 1/2" = 1'-0"

GENERAL PARTITION NOTES

1. PER 2018 IBC WITH SC MODIFICATIONS, SECTION 703.7, ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS, AND/OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS, SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE, SUCH IDENTIFICATION SHALL BE:
 - A. LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION
 - B. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR OTHER WORDING.

1x1 DESIGN

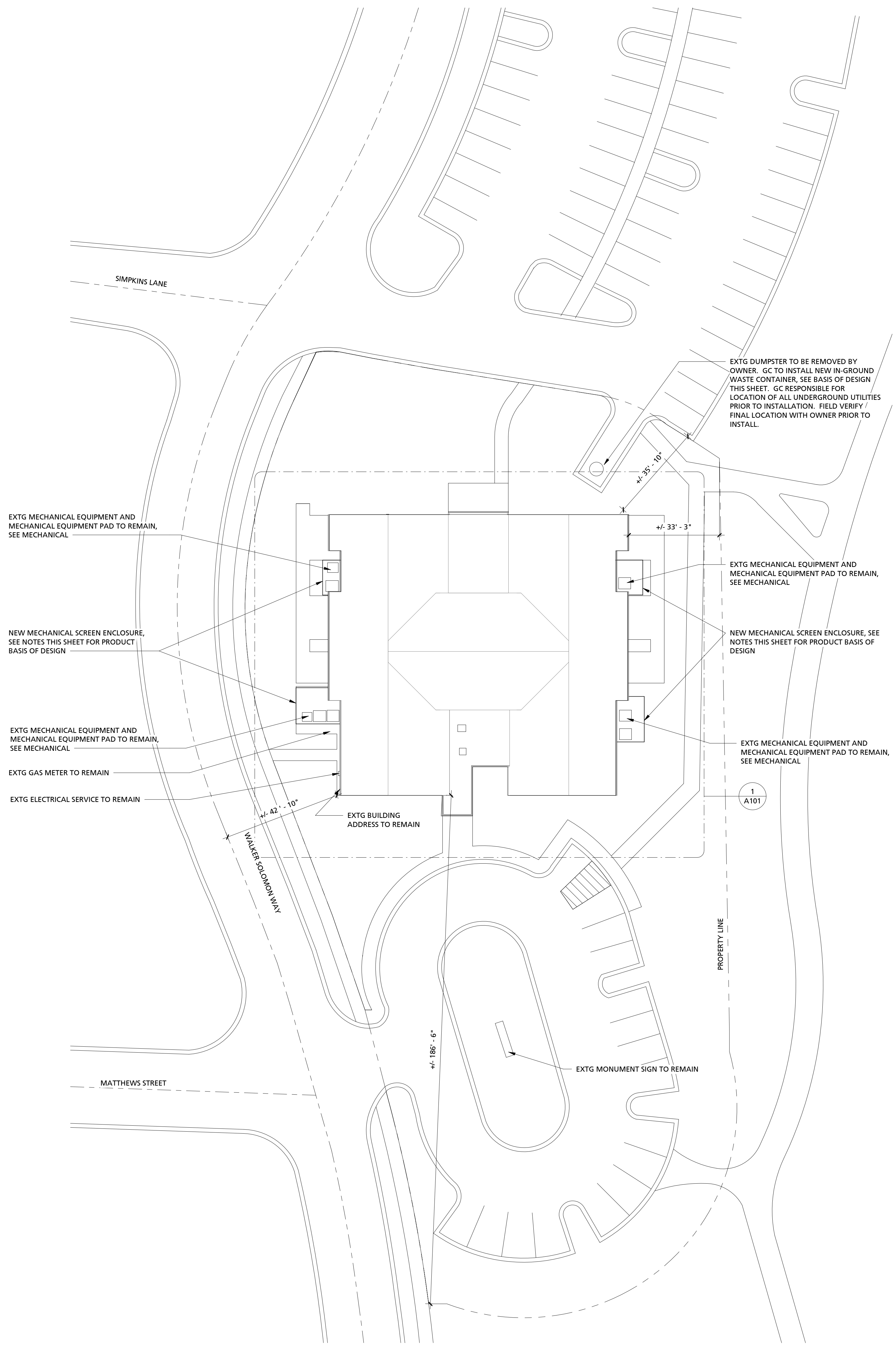
221 PICKENS STREET (29205)
POST OFFICE BOX 3875
COLUMBIA, SOUTH CAROLINA 29250
803.834.4048 p
803.834.4082 f
WWW.1X1DESIGN.COM

COLUMBIA HOUSING AUTHORITY
COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

RELEASED FOR PLAN REVIEW AND BIDDING - MAY 4, 2021

CLIENT NAME	COLUMBIA HOUSING AUTHORITY	
PROJECT NAME	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION	
PROJECT ADDRESS	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204	
REVISIONS		
No.	Description	Date
PROJECT NUMBER: C-19-066-2		
SHEET NUMBER: G102		
SHEET NAME: PARTITION TYPES		
DATE: 05/04/2021		

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1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

GENERAL SITE NOTES

1. SITE ELEMENTS SHOWN AS REFERENCE ONLY. CIVIL ENGINEERING BY OTHERS.
2. FIELD VERIFY EXISTING EXTERIOR AND SITE CONDITIONS PRIOR TO CONSTRUCTION.
3. LANDSCAPE DESIGN BY OTHERS.
4. ALL SIDEWALKS MUST PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
5. SITE PLAN INFORMATION AND ASSUMED PROPERTY LINES BASED ON EXTG DRAWINGS PROVIDED BY OWNER. SEE P2.01 FOR REFERENCE UTILITY PLAN.

BASIS OF DESIGN- IN-GROUND WASTE CONTAINER

MFR: SUTERA
TYPE: FULLY IN-GROUND UNIT
PRODUCT: FS-4
MATERIAL: PRECAST CONCRETE CONTAINMENT WELL WITH STEEL LID

BASIS OF DESIGN- MECHANICAL SCREEN ENCLOSURE

MFR: CITYSCAPES
PRODUCT: COVRIT
PANEL STYLE: SLAT WALL
MATERIAL: METAL
TYPE: PERIMETER WALL
PANEL COLOR: FROM MFRS STANDARD COLOR OPTIONS
POST COLOR: FROM MFRS STANDARD COLOR OPTIONS
POST CAP: FITTED HIP
POST MOUNTING: HULTI ON EXTG SLAB
PANEL HEIGHT: 7 FEET
GATE: ONE 3' GATE PER ENCLOSURE WITH LOCKING HARDWARE



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COLUMBIA HOUSING AUTHORITY

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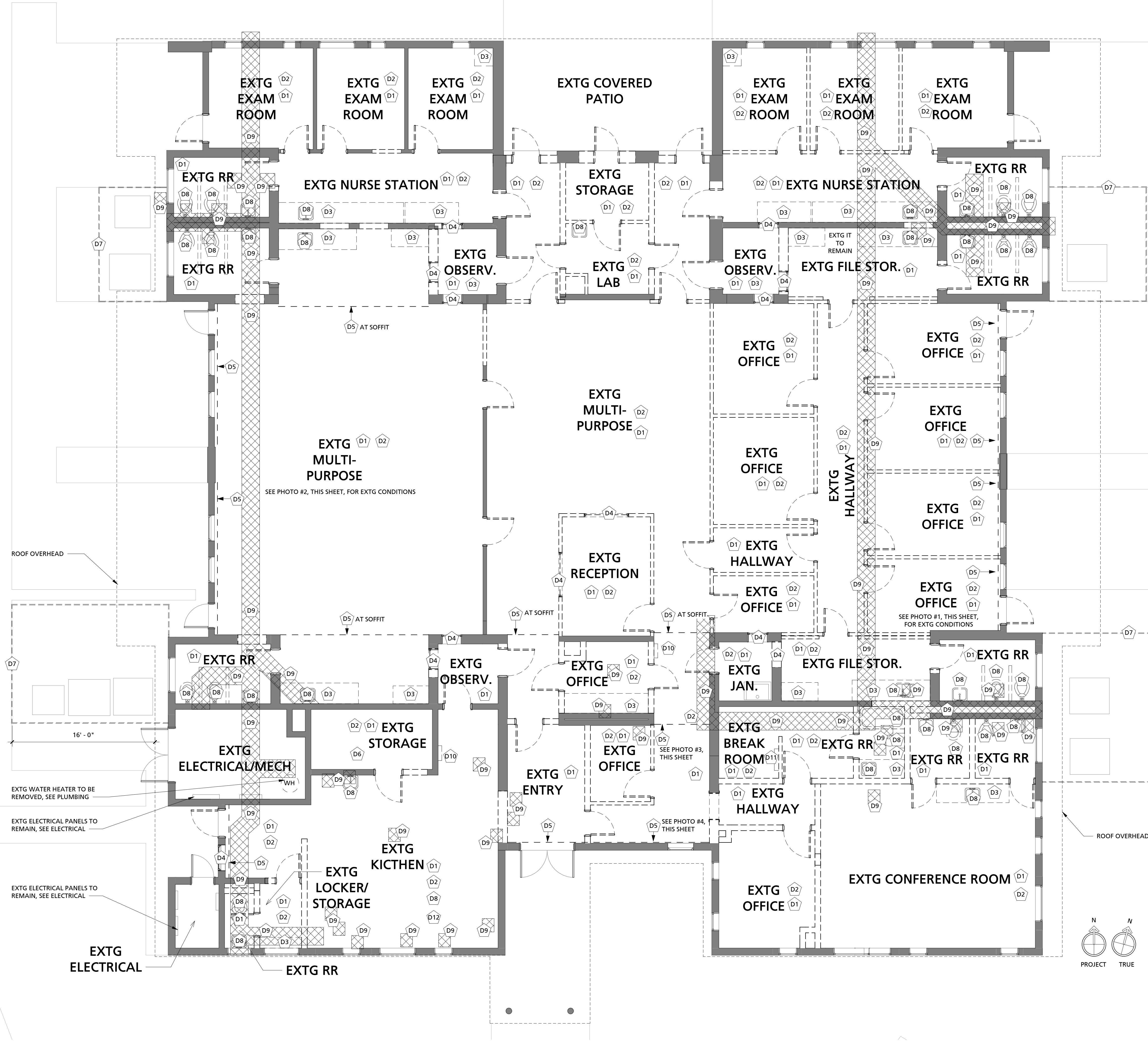
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REVISIONS		
No.	Description	Date

PROJECT NUMBER: C-19-066-2
SHEET NUMBER: A001
SHEET NAME: ARCHITECTURAL SITE PLAN
DATE: 05/04/2021

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1 DEMOLITION PLAN
3/16" = 1'-0"

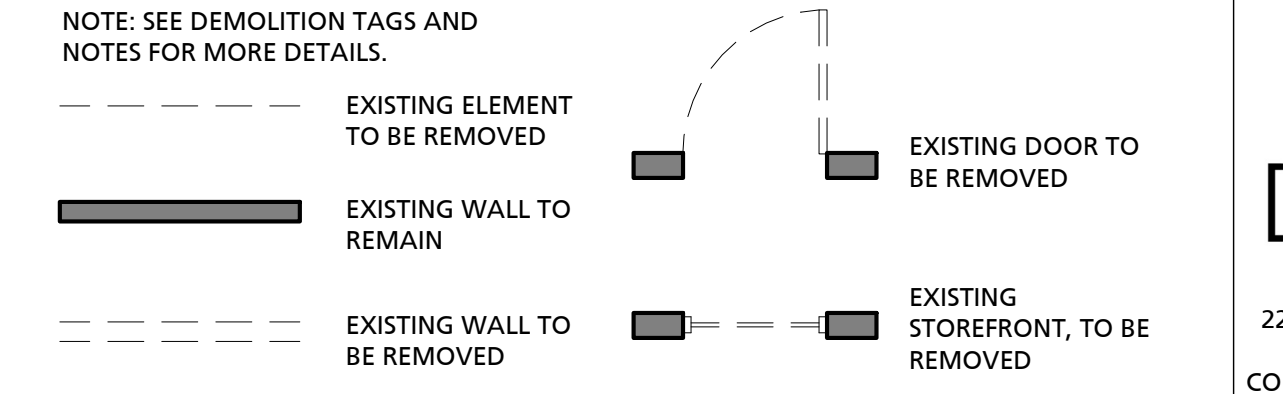
EXTG CONDITONS



GENERAL DEMOLITION NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY OWNER PROVIDED EXISTING PLANS, AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
 - GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.
 - GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION. DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING REMAINS WATER & WEATHER-TIGHT.
- SELECTIVE DEMOLITION**
- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS. PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT.
 - CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES.
 - DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
 - MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. NOTIFY ARCHITECT IMMEDIATELY OF DAMAGED OR DANGEROUS CONDITIONS.
 - LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
 - DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL OR OTHER APPROPRIATE DISPOSAL/RECYCLING SERVICE. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
 - REMOVE EXISTING INTERIOR WINDOW BLINDS AND DISPOSE.
- UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS**
- EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVING AREAS TO BE SELECTIVELY DEMOLISHED.
- ELECTRICAL DEMOLITION NOTES**
- COORDINATE DEMOLITION WORK WITH FACILITY OPERATIONS AND ALL OTHER TRADES. IDENTIFY SALVAGEABLE ITEMS IN COOPERATION WITH OWNER. ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, INCLUDING WARNING SIGNS AND LIGHTS, BARRICADES, AND SIMILAR MEASURES, FOR PROTECTION OF THE OWNER, CONTRACTORS' EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN. PROVIDE TEMPORARY ELECTRICAL POWER AND EMERGENCY LIGHTING AS REQUIRED.
 - ENSURE ALL CIRCUITS AND EQUIPMENT TO BE DEMOLISHED ARE SAFELY DE-ENERGIZED PRIOR TO STARTING WORK. DISCONNECT ELECTRICAL SYSTEMS IN WALLS, FLOORS, AND CEILING SCHEDULES FOR REMOVAL. REMOVE EXPOSED WIRING AND CONDUIT IN CIRCUITS DESIGNATED TO BE ABANDONED. CUT CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS, PLUG CONDUITS AND PATCH SURFACES.
 - REMOVE ALL DISCARDED MATERIALS PER THESE SPECIFICATIONS AND OWNER'S INSTRUCTION. RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO ACCOMMODATE NEW CONSTRUCTION.
 - KEEP ELECTRICAL POWER AND LIGHTING PANELS AS SPECIFIED ON THESE DRAWINGS. RING OUT CIRCUITS IN EXISTING PANELS WHERE ADDITIONAL CIRCUITS ARE NEEDED. REUSE AVAILABLE CIRCUITS, INSTALL NEW CIRCUIT BREAKERS AS REQUIRED - SEE ELECTRICAL DRAWINGS. CLEAN AND REPAIR EXISTING EQUIPMENT TO REMAIN, BE SALVAGED, OR TO BE REINSTALLED.
 - TESTING: TEST ALL MAIN SERVICE AND PANELBOARD FEEDER WIRING TO REMAIN IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. CIRCUIT BREAKERS EXHIBITING ANY UNUSUAL CHARACTERISTIC SHALL BE SUBJECT TO ELECTRICAL TESTS PER THE SAME REQUIREMENTS. REPLACE DEFECTIVE CIRCUIT BREAKERS WITH NEW OF SAME KIND, OR PER THE REQUIREMENTS OF THE ELECTRICAL ENGINEER, WHICHEVER IS MORE STRINGENT.
 - SALVAGE: REMOVE AND PROTECT ITEMS INDICATED ON DRAWINGS TO BE SALVAGED AND TURN OVER TO OWNER. ITEMS OF SALVAGEABLE VALUE MAY BE REMOVED AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED, TO OWNER SPECIFIED LOCATION.
- CONCRETE**
- DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS.
 - AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN BREAK UP AND REMOVE.
- MASONRY**
- DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.
- FLOOR COVERINGS**
- REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.
- CLEANING**
- CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.
- TEMPORARY SHORING**
- PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

DEMOLITION LEGEND



DEMOLITION KEY NOTE LEGEND

- FLOOR PLAN:**
- D1 REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES
 - D2 ALL REMAINING FREE STANDING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL
 - D3 REMOVE AND DISPOSE OF ALL EXTG CASEWORK AND SHELVING
 - D4 REMOVE AND DISPOSE OF EXTG WINDOW AND FRAME
 - D5 REMOVE AND DISPOSE OF EXTG WOOD PANELING AT THIS WALL LOCATION. SEE PHOTOS THIS SHEET FOR TYPICAL CONDITION
 - D6 EXTG ATTIC ACCESS THROUGH CEILING TILE TO BE REMOVED AND DISPOSED
 - D7 EXTG MECHANICAL SCREEN TO BE REMOVED IN ITS ENTIRETY
 - D8 EXTG PLUMBING FIXTURES TO BE REMOVED IN THIS AREA
 - D9 AREA OF ANTICIPATED TRENCHING AT CONCRETE SLAB. COORDINATE WITH PLUMBING
 - D10 EXTG ELECTRICAL PANEL TO BE REMOVED AND DISPOSED, SEE ELECTRICAL
 - D11 EXTG FIRE ALARM PANEL TO BE REMOVED AND DISPOSED OF, SEE ELECTRICAL
 - D12 REMOVE AND DISPOSE OF EXTG KITCHEN EQUIPMENT AND SUPPRESSION SYSTEM
- ATTIC PLAN:**
- D13 EXTG MECHANICAL EQUIPMENT TO BE MODIFIED. SEE MECHANICAL
 - D14 EXTG LOUVER TO BE REMOVED AND DISPOSED, SEE MECHANICAL
 - D15 EXTG LOUVER TO REMAIN, SEE MECHANICAL
 - D16 NEW WALL OPENING FOR NEW MECHANICAL LOUVER, SEE MECHANICAL
- ROOF PLAN:**
- D17 REMOVE AND DISPOSE EXTG MECHANICAL EQUIPMENT AND REPAIR ROOF AT EXTG PENETRATIONS. GC TO COORDINATE SCOPE OF WORK AND ENSURE WORK DOES NOT VOID EXTS ROOF WARRANTY
- REFLECTED CEILING PLAN:**
- D18 REMOVE AND DISPOSE EXTG MECHANICAL AND ELECTRICAL EQUIPMENT, SEE MECHANICAL AND ELECTRICAL
 - D19 REMOVE AND DISPOSE EXTG CEILING TILES AND GRID

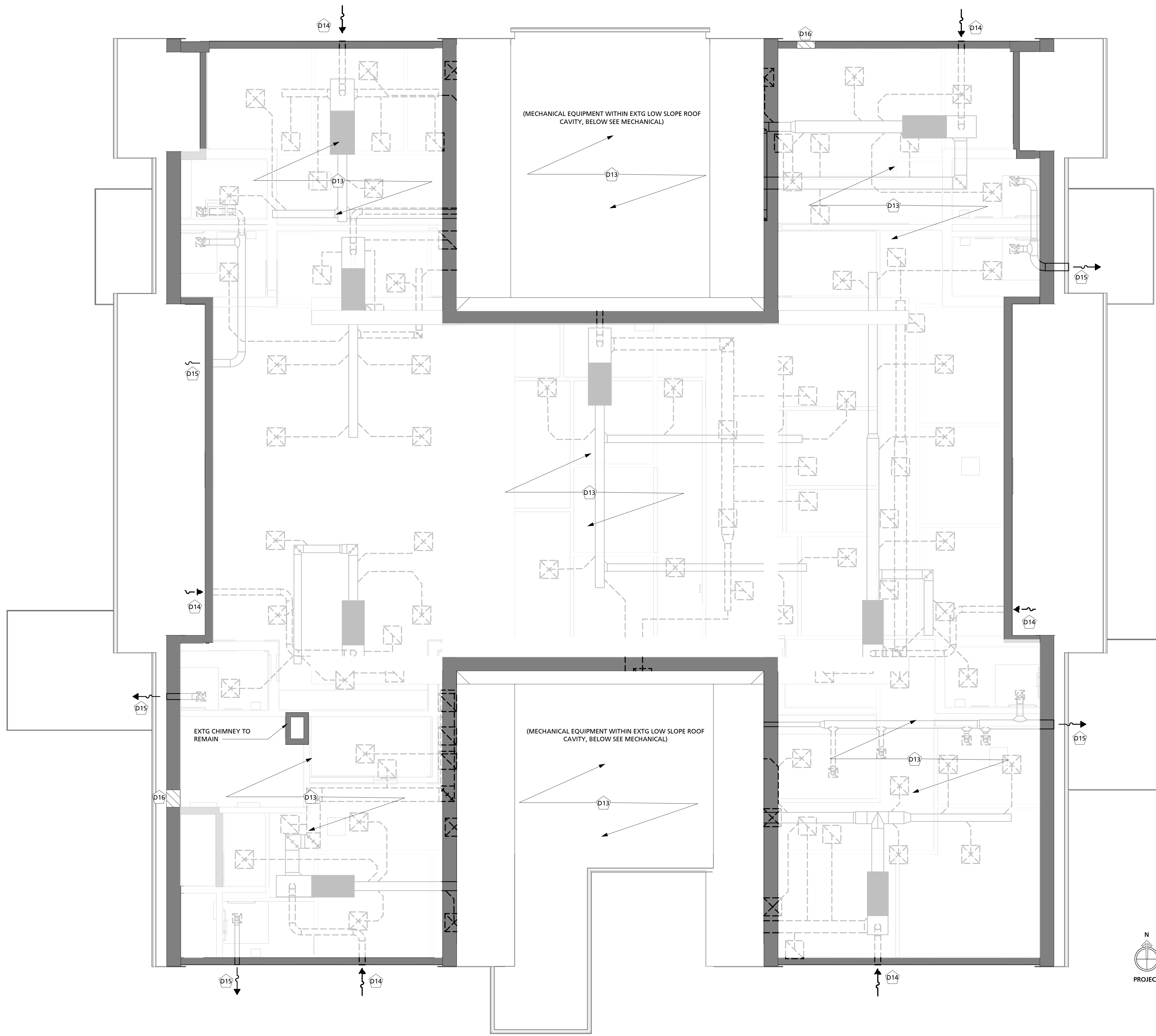
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COLUMBIA HOUSING AUTHORITY
COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

CLIENT NAME	COLUMBIA HOUSING AUTHORITY
PROJECT NAME	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
PROJECT ADDRESS	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204
PROJECT NUMBER	C-19-066-2
SHEET NUMBER	AD101
SHEET NAME	DEMOLITION PLAN
DATE	05/04/2021

RELEASED FOR PLAN REVIEW AND BIDDING - MAY 4, 2021

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1 ATTIC DEMOLITION PLAN
3/16" = 1'-0"

DEMOLITION KEY NOTE LEGEND

FLOOR PLAN:

- D1 REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES
- D2 ALL REMAINING FREE STANDING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL
- D3 REMOVE AND DISPOSE OF ALL EXTG CASEWORK AND SHELVING
- D4 REMOVE AND DISPOSE OF EXTG WINDOW AND FRAME
- D5 REMOVE AND DISPOSE OF EXTG WOOD PANELING AT THIS WALL LOCATION. SEE PHOTOS THIS SHEET FOR TYPICAL CONDITION
- D6 EXTG ATTIC ACCESS THROUGH CEILING TILE TO BE REMOVED AND DISPOSED
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- D12 REMOVE AND DISPOSE OF EXTG KITCHEN EQUIPMENT AND SUPPRESSION SYSTEM

ATTIC PLAN:

- D13 EXTG MECHANICAL EQUIPMENT TO BE MODIFIED. SEE MECHANICAL
- D14 EXTG LOUVER TO BE REMOVED AND DISPOSED, SEE MECHANICAL
- D15 EXTG LOUVER TO REMAIN, SEE MECHANICAL
- D16 NEW WALL OPENING FOR NEW MECHANICAL LOUVER, SEE MECHANICAL

ROOF PLAN:

- D17 REMOVE AND DISPOSE EXTG MECHANICAL EQUIPMENT AND REPAIR ROOF AT EXTG PENETRATIONS. GC TO COORDINATE SCOPE OF WORK AND ENSURE WORK DOES NOT VOID EXTG ROOF WARRANTY

REFLECTED CEILING PLAN:

- D18 REMOVE AND DISPOSE EXTG MECHANICAL AND ELECTRICAL EQUIPMENT, SEE MECHANICAL AND ELECTRICAL
- D19 REMOVE AND DISPOSE EXTG CEILING TILES AND GRID

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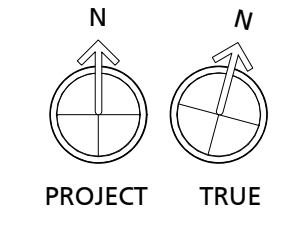
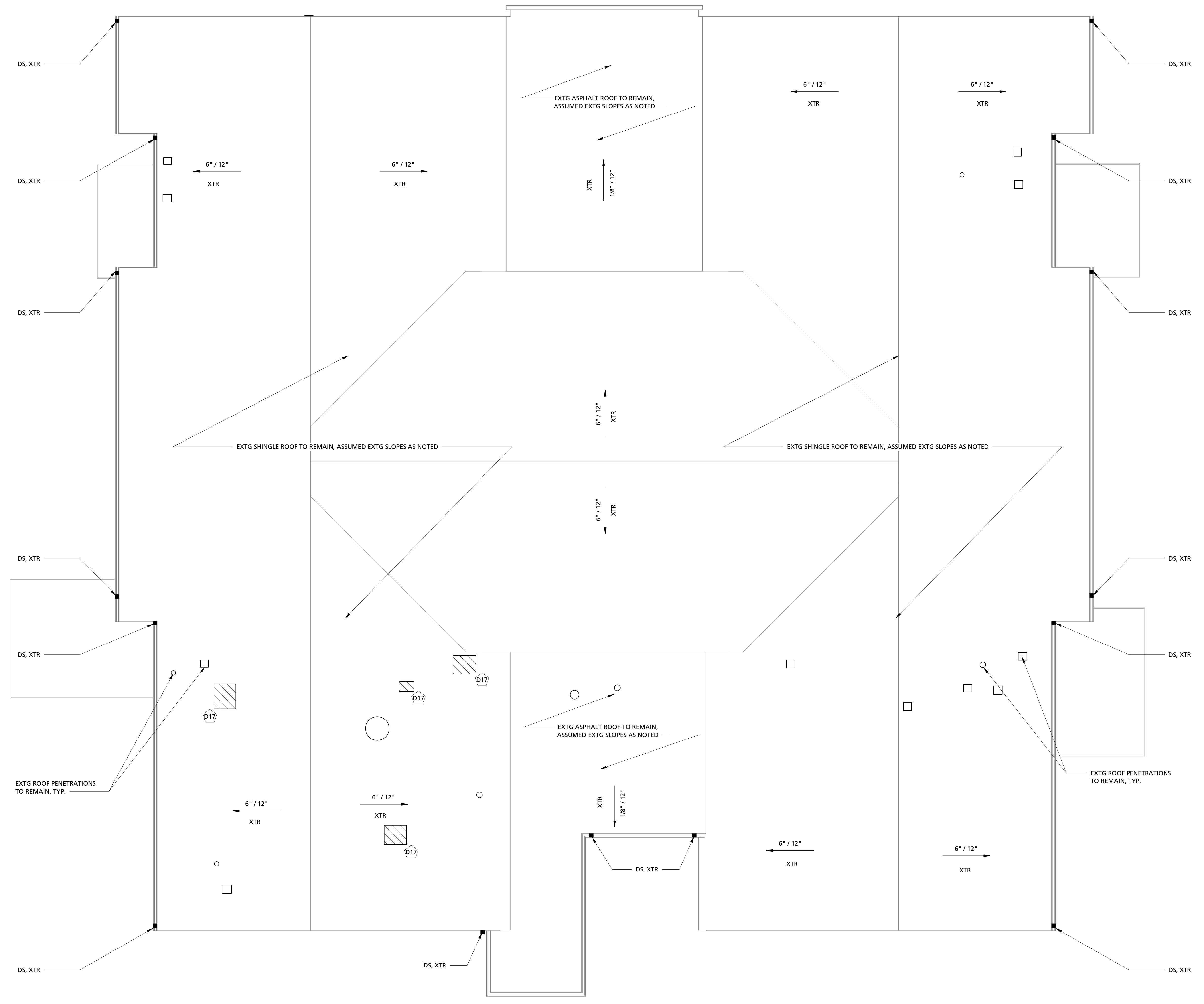
CLIENT NAME	COLUMBIA HOUSING AUTHORITY
PROJECT NAME	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
PROJECT ADDRESS	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

REVISIONS		
No.	Description	Date

PROJECT NUMBER	C-19-066-2
SHEET NUMBER	AD102
SHEET NAME	DEMOLITION ATTIC PLAN
DATE	05/04/2021

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1 ROOF DEMOLITION PLAN
3/16" = 1'-0"

DEMOLITION LEGEND

NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS.

- EXISTING ELEMENT TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING STOREFRONT, TO BE REMOVED

FOR AREAS OF PARTIAL DEMOLITION, COORDINATE WITH RENOVATION SCOPE FOR DIMENSIONS

DEMOLITION KEY NOTE LEGEND

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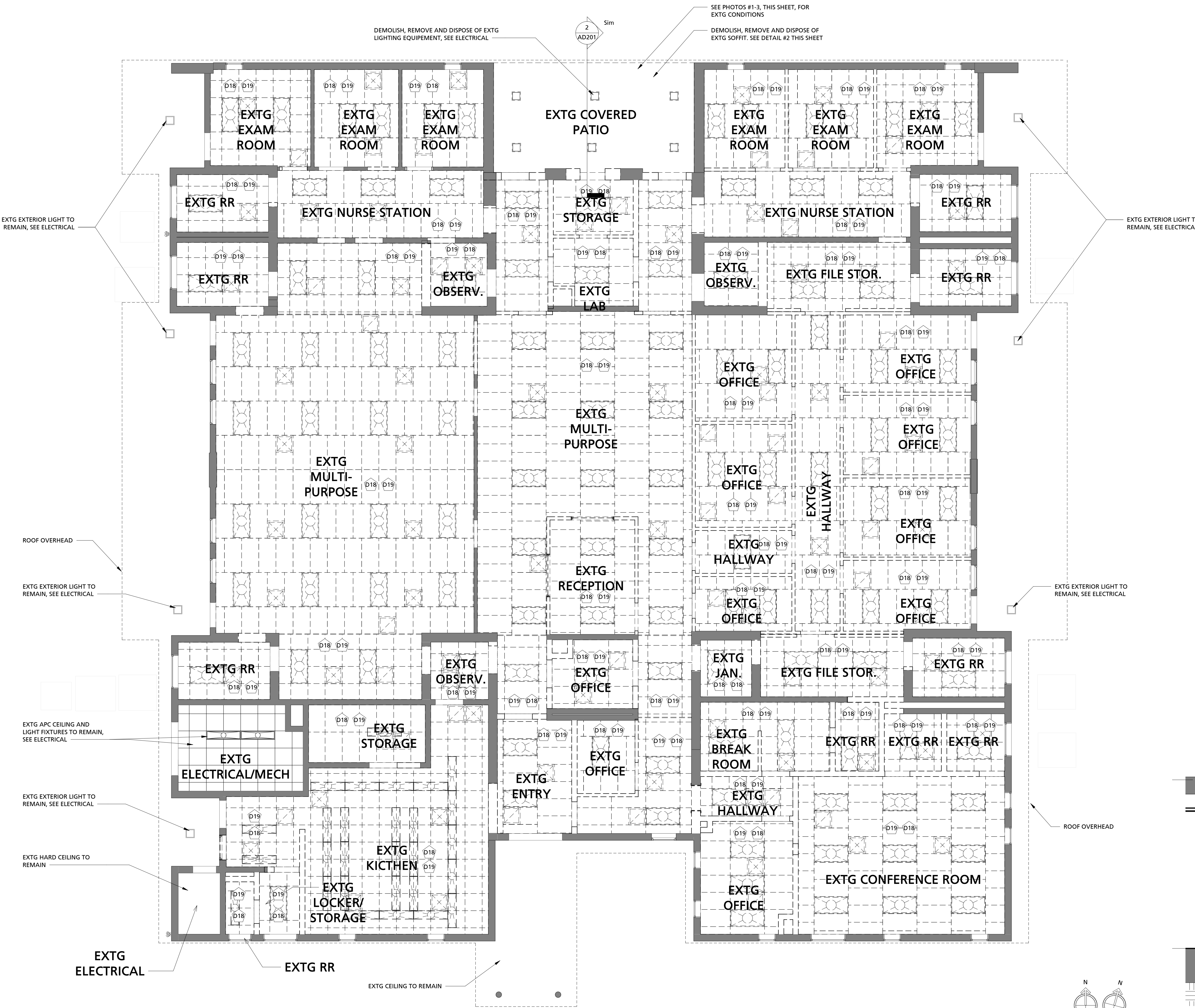
- ROOF PLAN:**
- D17 REMOVE AND DISPOSE EXTG MECHANICAL EQUIPMENT AND REPAIR ROOF AT EXTG PENETRATIONS. GC TO COORDINATE SCOPE OF WORK AND ENSURE WORK **DOES NOT** VOID EXTG ROOF WARRANTY

- REFLECTED CEILING PLAN:**
- D18 REMOVE AND DISPOSE EXTG MECHANICAL AND ELECTRICAL EQUIPMENT. SEE MECHANICAL AND ELECTRICAL
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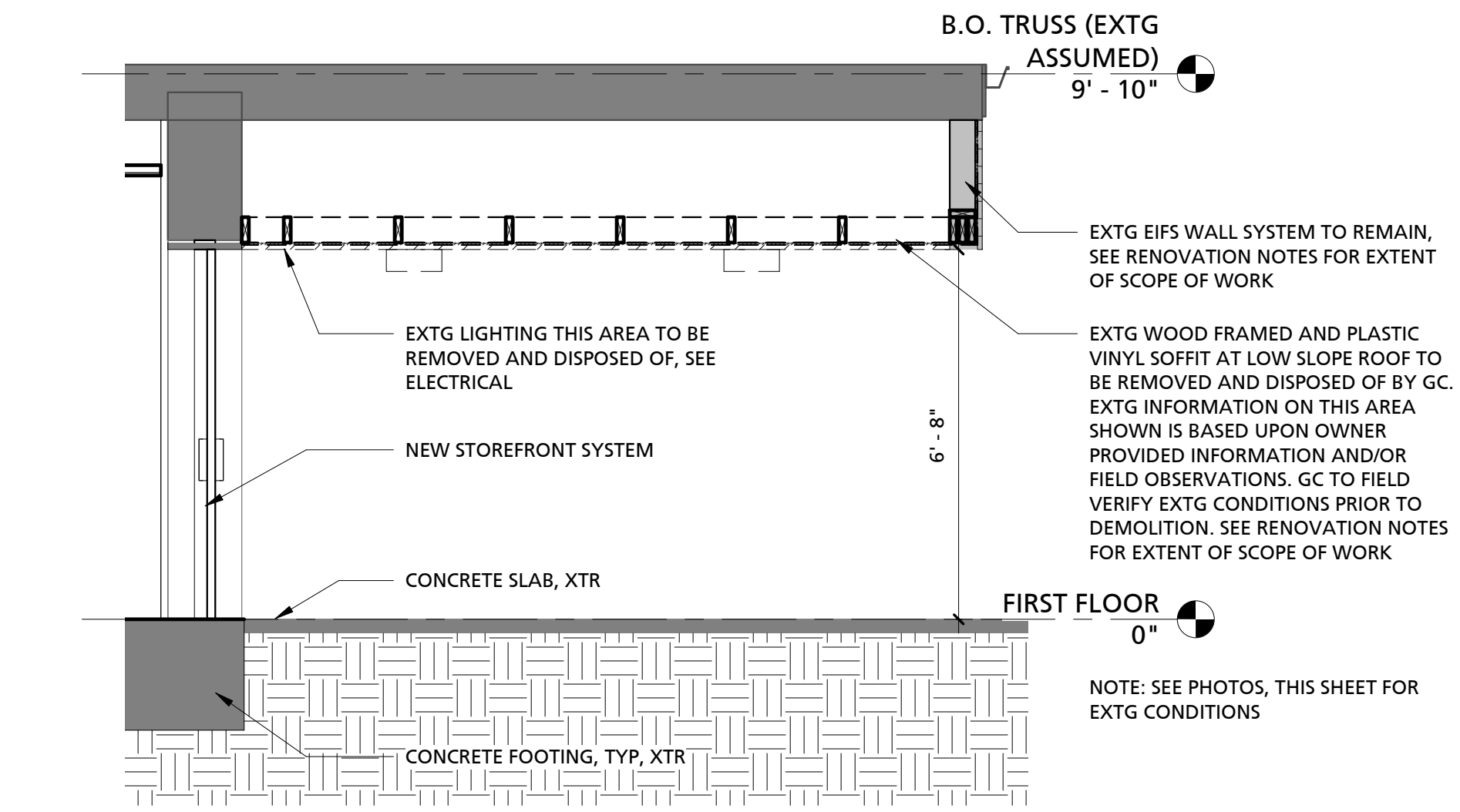
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 RELEASED FOR PLAN REVIEW AND BIDDING - MAY 4, 2021
 PROJECT NUMBER: C-19-066-2
 SHEET NAME: AD103
 SHEET NUMBER: DEMOLITION ROOF PLAN
 DATE: 05/04/2021
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1 REFLECTED CEILING PLAN - DEMOLITION
3/16" = 1'-0"




2 DEMO LONGITUDINAL BUILDING SECTION - NORTH/SOUTH @ ENTRY
3/8" = 1'-0"

DEMOLITION KEY NOTE LEGEND

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- D17 REMOVE AND DISPOSE EXTG MECHANICAL EQUIPMENT AND REPAIR ROOF AT EXTG PENETRATIONS. GC TO COORDINATE SCOPE OF WORK AND ENSURE WORK DOES NOT VOID EXTG ROOF WARRANTY
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- D18 REMOVE AND DISPOSE EXTG MECHANICAL AND ELECTRICAL EQUIPMENT, SEE MECHANICAL AND ELECTRICAL
 - D19 REMOVE AND DISPOSE EXTG CEILING TILES AND GRID

EXTG CONDITONS





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COLUMBIA HOUSING AUTHORITY

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2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

REVISIONS	DATE
No.	Description

PROJECT NUMBER: C-19-066-2
SHEET NUMBER: AD201
SHEET NAME: DEMOLITION RCP
DATE: 05/04/2021

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GENERAL FLOOR PLAN NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY OWNER PROVIDED EXISTING PLANS, AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- SEE A300 FOR FINISH SELECTION AND DETAILS.
- FEC SHOWN FOR REFERENCE ONLY. COORDINATE WITH FIRE MARSHALL TO LOCATE ALL REQUIRED FEC IN FIELD. FOR PRICING, ASSUME 3 CABINETS AND EXTINGUISHERS.
- GENERAL CONTRACTOR TO COORDINATE ALL AV REQUIREMENTS WITH OWNER. SEE G102 FOR PARTITION TYPES AND NOTES.
- AT EXTG WALL ASSEMBLY ALIGN FINISH FACE OF NEW WALL PARTITION.
- OWNER TO PROVIDE AND INSTALL NEW BLINDS AT EXTERIOR WINDOWS.
- AT ALL EXTERIOR WINDOWS THE HEAD, JAMB AND SILL SHOULD HAVE A DRYWALL FINISH SIMILAR TO THE WALL PARTITION TYPE AT EACH LOCATION.

FLOOR PLAN LEGEND

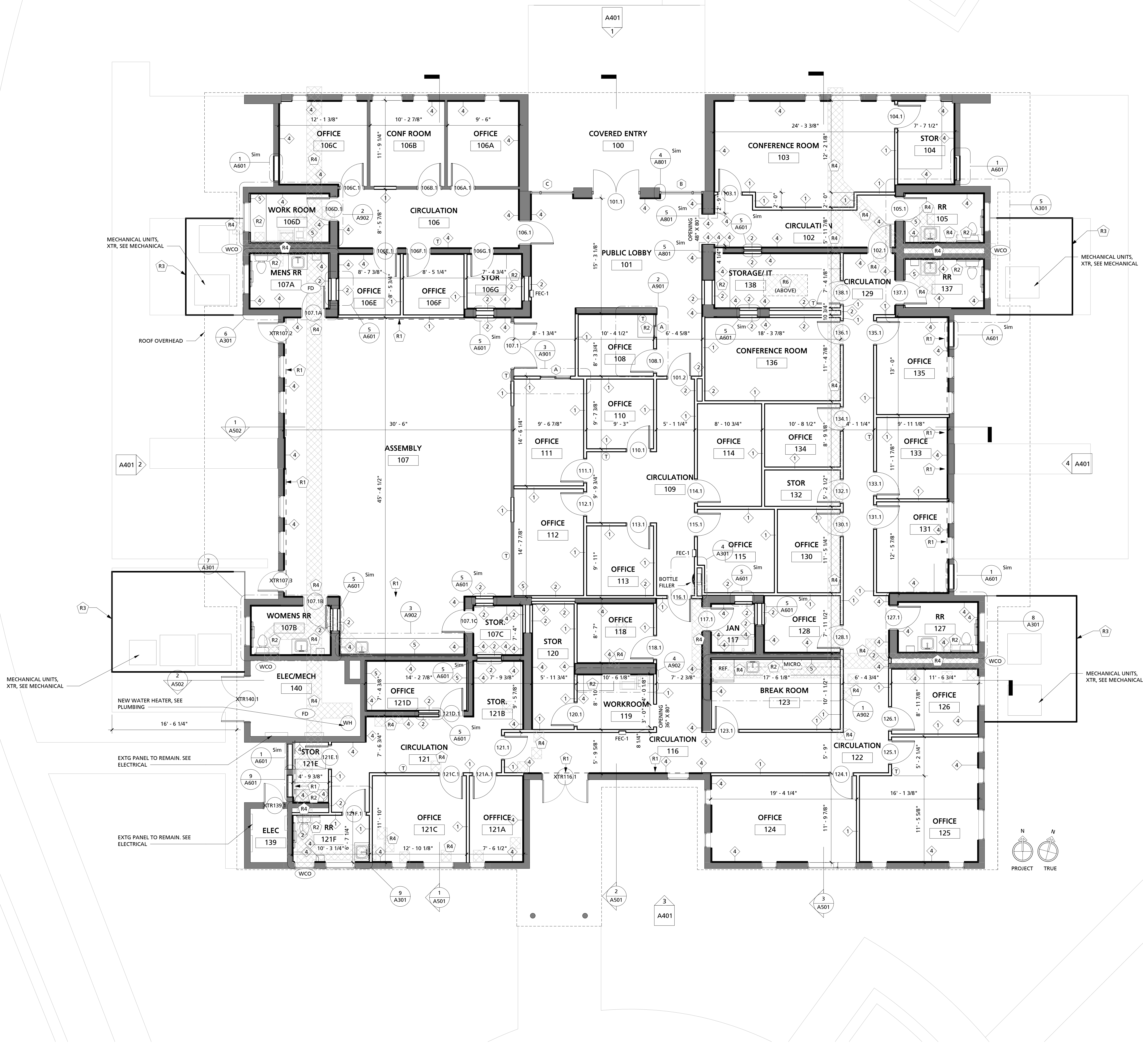
- NEW WALL
- EXISTING WALL
- DEMOLISHED WALL
- NEW DOOR, SEE DOOR SCHEDULE
- Room name**
- ROOM TAG, SEE PLAN AND FINISH SCHEDULE
- WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE
- DOOR TAG, SEE PLAN AND DOOR SCHEDULE
- INTERIOR WALL TAG, SEE PARTITION TYPES
- EXTERIOR WALL TAG, SEE EXTERIOR WALL SYSTEMS
- FLOOR DRAIN, SEE PLUMBING
- WALL CLEAN OUT, SEE PLUMBING
- THERMOSTAT, SEE ELECTRICAL

FIRE EXTINGUISHER CABINETS

- FIRE EXTINGUISHER CABINET (FEC-1):**
- MFR: LARSEN'S ARCHITECTURAL SERIES - SEMI RECESSED
 - STYLE: VERTICAL DUO WITH CLEAR ACRYLIC
 - DOOR STYLE: TYPE A, COLOR TO BE SELECTED BY OWNER
 - LETTERING: STAINLESS STEEL (SS)
 - MATERIAL: ROLLED, 4" MAXIMUM FROM WALL SURFACE TO OUTERMOST PROJECTION
 - TRIM: 10 LBS CAPACITY
 - FIRE EXTINGUISHER TYPE: 10 LBS CAPACITY

RENOVATION KEY NOTE LEGEND

- FLOOR PLAN:**
- R1 PROVIDE NEW 5/8" GYPSUM BOARD LAYER AT LOCATION(S) OF REMOVED EXTG WOOD PANELING, THIS WALL
 - R2 CASEWORK AND SHELVING PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
 - R3 PROVIDE NEW MECHANICAL SCREEN, SEE SHEET A001 FOR BASIS OF DESIGN PRODUCT
 - R4 PROVIDE NEW CONCRETE SLAB INFILL, THIS HATCH AREA; SEE STRUCTURAL AND PLUMBING
- ATTIC PLAN:**
- R5 EXTG MECHANICAL EQUIPMENT TO BE REMAIN, COORDINATE LOCATION OF DUCTWORK WITH MECHANICAL. SEE MECHANICAL
 - R6 PROVIDE NEW ATTIC ACCESS WITH ACCESS LADDER; GC TO COORDINATE PLACEMENT AND ORIENTATION WITH ARCHITECT ONCE PRODUCT HAS BEEN SELECTED. SEE STRUCTURAL FOR EXISTING FRAMING MODIFICATIONS
- BASIS-OF-DESIGN:**
- MFR: FINFAST OR APPROVED EQUAL
 - PRODUCT: KATTCRIMB FOLD DOWN LADDER OR APPROVED EQUAL
 - TYPE: RL62 COMMERCIAL FOLD DOWN LADDER OR APPROVED EQUAL
- MECHANICAL:**
- R7 PATCH EXTERIOR WALL AT FORMER LOUVER LOCATION WITH LIKE CONSTRUCTION. EXTERIOR FINISH TO BE EIFS 1, SEE A601 SEE MECHANICAL
 - R8 EXTG MECHANICAL LOUVER TO REMAIN, SEE MECHANICAL
 - R9 INSTALL NEW MECHANICAL LOUVER, SEE MECHANICAL
- ROOF PLAN:**
- R10 REPAIR EXTG ROOF PENETRATIONS. GC TO COORDINATE SCOPE OF WORK DOES NOT VOID EXTG ROOF WARRANTY
- REFLECTED CEILING PLAN:**
- R11 PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.



1 FIRST FLOOR PLAN - RENOVATION
3/16" = 1'-0"

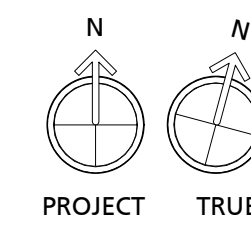
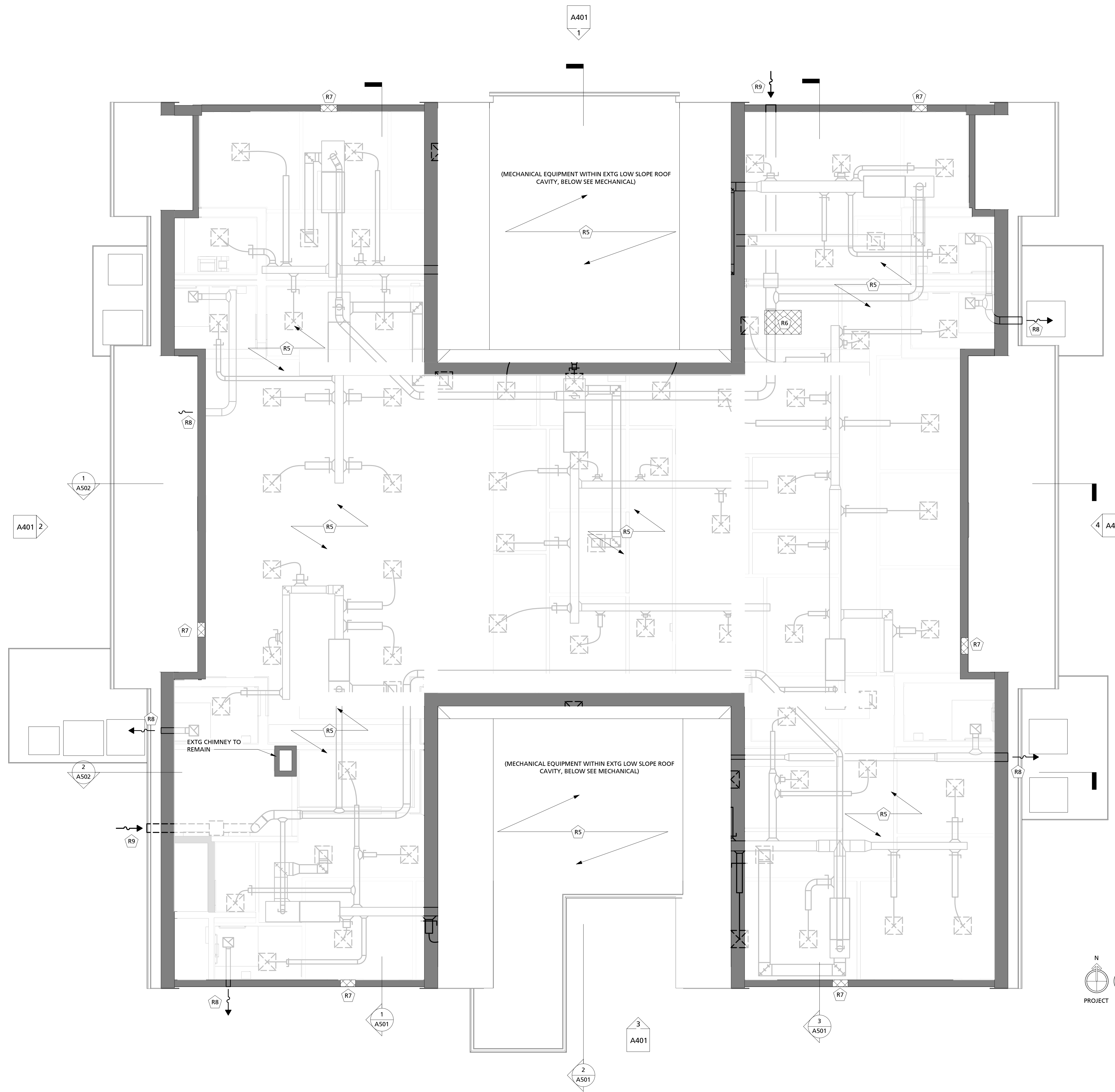
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CLIENT NAME	PROJECT NUMBER	C-19-066-2
PROJECT NAME	SHEET NUMBER	A101
PROJECT ADDRESS	SHEET NAME	FLOOR PLANS
DATE	DATE	05/04/2021

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1 ATTIC PLAN - RENOVATION
3/16" = 1'-0"

GENERAL ATTIC PLAN NOTES

1. REFER TO ENGINEERING DRAWINGS FOR EQUIPMENT

RENOVATION KEY NOTE LEGEND

- FLOOR PLAN:**
- R1 PROVIDE NEW 5/8" GYPSUM BOARD LAYER AT LOCATION(S) OF REMOVED EXTG WOOD PANELING, THIS WALL.
 - R2 CASEWORK AND SHELVING PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
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- BASIS-OF-DESIGN:**
- MFR: FIXEAST OR APPROVED EQUAL
PRODUCT: KATTCOMB FOLD DOWN LADDER OR APPROVED EQUAL
TYPE: RL62 COMMERCIAL FOLD DOWN LADDER OR APPROVED EQUAL
- R7 PATCH EXTERIOR WALL AT FORMER LOUVER LOCATION WITH LIKE CONSTRUCTION. EXTERIOR FINISH TO BE EIFS 1, SEE A401 SEE MECHANICAL
 - R8 EXTG MECHANICAL LOUVER TO REMAIN, SEE MECHANICAL
 - R9 INSTALL NEW MECHANICAL LOUVER, SEE MECHANICAL
- ROOF PLAN:**
- R10 REPAIR EXTG ROOF PENETRATIONS. GC TO COORDINATE SCOPE OF WORK **DOES NOT** VOID EXTG ROOF WARRANTY
- REFLECTED CEILING PLAN:**
- R11 PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.



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CLIENT NAME
PROJECT NAME
PROJECT ADDRESS

REVISIONS		
No.	Description	Date

PROJECT NUMBER C-19-066-2

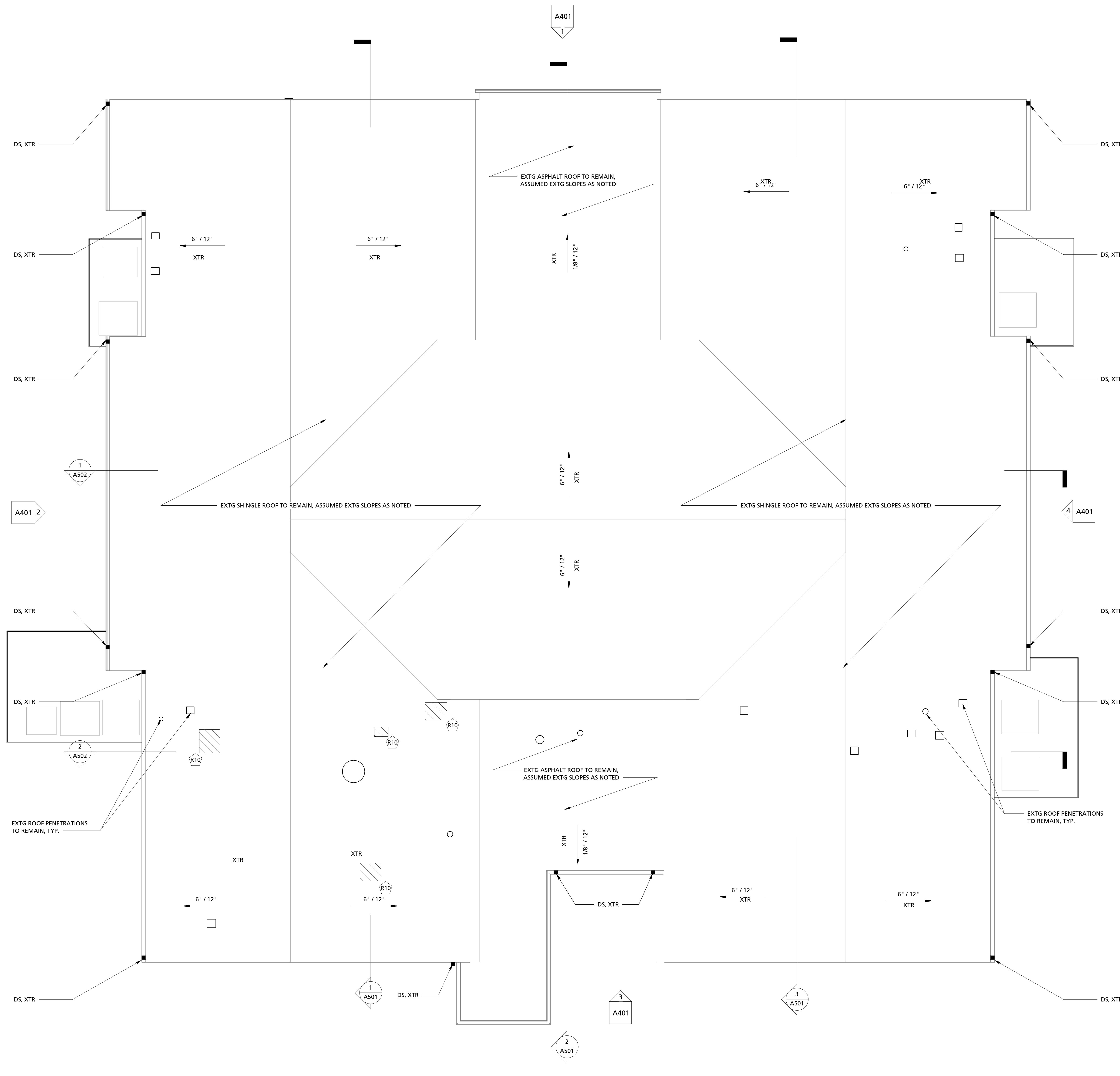
SHEET NUMBER
A102
SHEET NAME
ATTIC PLAN

DATE
05/04/2021

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1 ROOF PLAN - RENOVATION
3/16" = 1'-0"

GENERAL ROOF PLAN NOTES

1. ROOF SLOPE IS 1/4" PER FOOT, UNLESS INDICATED OTHERWISE. <OR> ROOF SLOPE IS $\frac{X}{12}$ UNLESS NOTED OTHERWISE.
2. REFER TO ENGINEERING DRAWINGS FOR PENETRATIONS AND EQUIPMENT.
3. ALL GUTTER AND DOWNSPOUT SIZING BY GUTTER AND DOWNSPOUT PROVIDER.
4. GUARDS SHALL BE PROVIDED AS REQUIRED BY IMC 2015 SECTION 304.11.
5. ACCESS TO ROOFS TO BE PROVIDED PER IMC 2015 SECTION 306.5.

RENOVATION KEY NOTE LEGEND

- FLOOR PLAN:**
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- ATTIC PLAN:**
- R5 EXTG MECHANICAL EQUIPMENT TO BE REMAIN. COORDINATE LOCATION OF DUCTWORK WITH MECHANICAL. SEE MECHANICAL
 - R6 PROVIDE NEW ATTIC ACCESS WITH ACCESS LADDER; GC TO COORDINATE PLACEMENT AND ORIENTATION WITH ARCHITECT ONCE PRODUCT HAS BEEN SELECTED. SEE STRUCTURAL FOR EXISTING FRAMING MODIFICATIONS
- BASIS OF DESIGN:**
- MFR: FIXFAST OR APPROVED EQUAL
PRODUCT: KATTLIMB FOLD DOWN LADDER OR APPROVED EQUAL
TYPE: RLS2 COMMERCIAL FOLD DOWN LADDER OR APPROVED EQUAL
- R7 PATCH EXTERIOR WALL AT FORMER LOUVER LOCATION WITH LIKE CONSTRUCTION. EXTERIOR FINISH TO BE EIFS 1, SEE A401 SEE MECHANICAL
 - R8 EXTG MECHANICAL LOUVER TO REMAIN, SEE MECHANICAL
 - R9 INSTALL NEW MECHANICAL LOUVER, SEE MECHANICAL
- ROOF PLAN:**
- R10 REPAIR EXTG ROOF PENETRATIONS. GC TO COORDINATE SCOPE OF WORK **DOES NOT** VOID EXTG ROOF WARRANTY
- REFLECTED CEILING PLAN:**
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CLIENT NAME	COLUMBIA HOUSING AUTHORITY	
PROJECT NAME	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION	
PROJECT ADDRESS	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204	
REVISIONS		
No.	Description	Date
PROJECT NUMBER	C-19-066-2	
SHEET NUMBER	A103	
SHEET NAME	ROOF PLAN	
DATE	05/04/2021	

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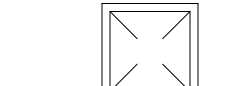








GENERAL REFLECTED CEILING PLAN NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS.
- ALL GWB CEILINGS TO BE PAINTED FLAT CEILING WHITE, UNLESS NOTED OTHERWISE.
- SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS.
- SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS.
- CEILING HEIGHT TO BE 9'-0" AFF UNLESS NOTED OTHERWISE.
- COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED.
- EXIT SIGNS



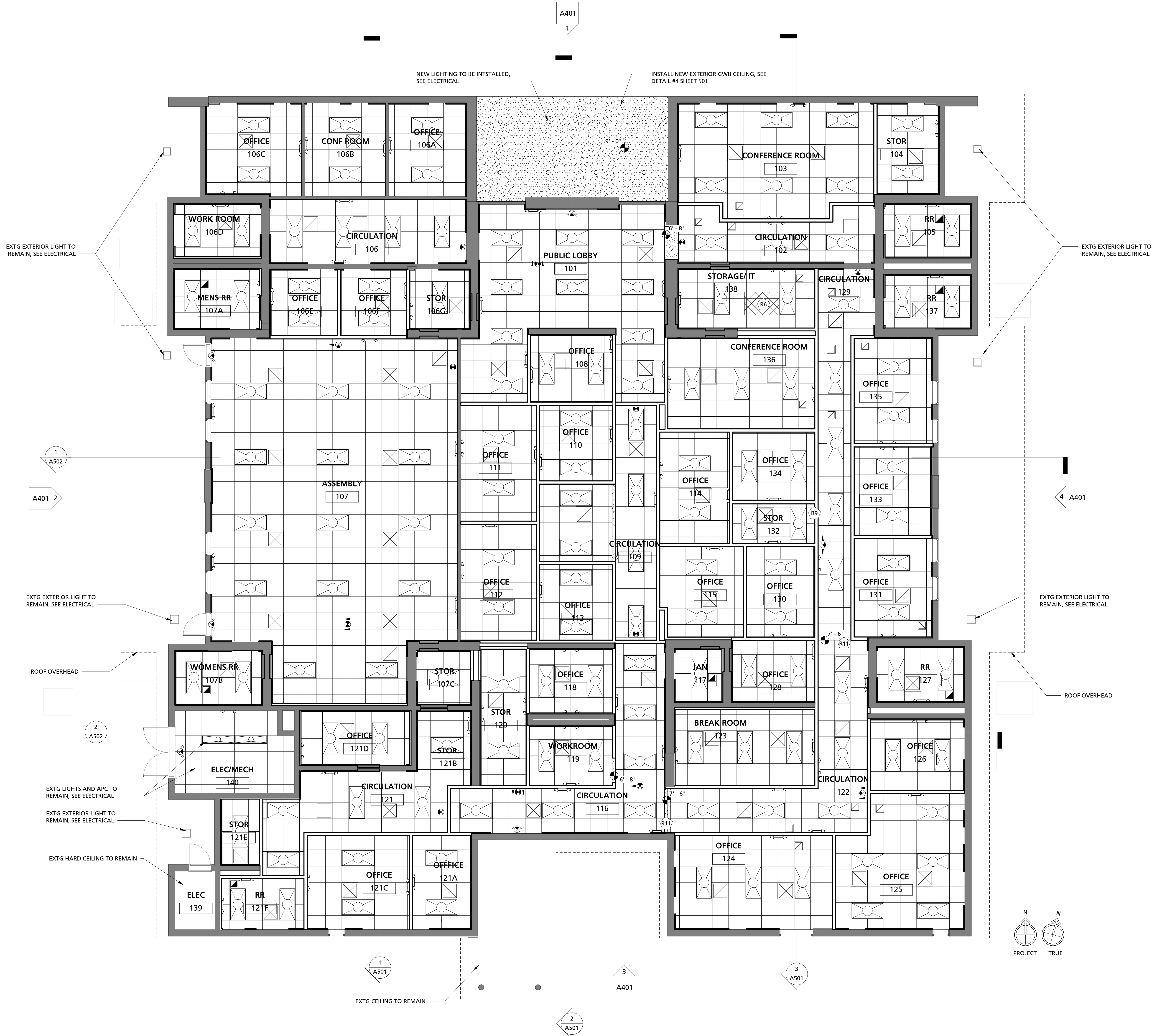
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REFLECTED CEILING PLAN LEGEND

-  2'x4' ACOUSTICAL PANEL CEILING (APC) (NEW), HEIGHT VARIES.
-  SUPPLY DIFFUSER, SEE MECHANICAL.
-  RETURN REGISTER, SEE MECHANICAL.
-  EXHAUST DUCT, SEE MECHANICAL.
-  2'x4' LIGHTING FIXTURE, SEE ELECTRICAL.
-  1'x4' LIGHTING FIXTURE, SEE ELECTRICAL.
-  EXTERIOR LIGHTING FIXTURE, SEE ELECTRICAL.
-  EXTERIOR RECESSED CAN LIGHT, SEE ELECTRICAL.
-  EXIT SIGN, SEE ELECTRICAL.
-  EXIT LIGHT, SEE ELECTRICAL.

RENOVATION KEY NOTE LEGEND

- FLOOR PLAN:**
- R1 PROVIDE NEW 5/8" GYPSUM BOARD LAYER AT LOCATION(S) OF REMOVED EXTG WOOD PANELING, THIS WALL.
 - R2 CASEWORK AND SHELVING PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
 - R3 PROVIDE NEW MECHANICAL SCREEN, SEE SHEET A001 FOR BASIS OF DESIGN PRODUCT.
 - R4 PROVIDE NEW CONCRETE SLAB INFILL, THIS HATCH AREA; SEE STRUCTURAL AND PLUMBING.
- ATTIC PLAN:**
- RS EXTG MECHANICAL EQUIPMENT TO BE REMAIN. COORDINATE LOCATION OF DUCTWORK WITH MECHANICAL. SEE MECHANICAL.
 - R6 PROVIDE NEW ATTIC ACCESS WITH ACCESS LADDER; GC TO COORDINATE PLACEMENT AND ORIENTATION WITH ARCHITECT ONCE PRODUCT HAS BEEN SELECTED. SEE STRUCTURAL FOR EXISTING FRAMING MODIFICATIONS.
- BASIS-OF-DESIGN:**
- MFR: FIXFAST OR APPROVED EQUAL
PRODUCT: KATTLIMB FOLD DOWN LADDER OR APPROVED EQUAL
TYPE: RL62 COMMERCIAL FOLD DOWN LADDER OR APPROVED EQUAL
- R7 PATCH EXTERIOR WALL AT FORMER LOUVER LOCATION WITH LIKE CONSTRUCTION. EXTERIOR FINISH TO BE EIFS 1, SEE A401 SEE MECHANICAL.
 - RS EXTG MECHANICAL LOUVER TO REMAIN, SEE MECHANICAL.
 - RS INSTALL NEW MECHANICAL LOUVER, SEE MECHANICAL.
- ROOF PLAN:**
- R10 REPAIR EXTG ROOF PENETRATIONS. GC TO COORDINATE SCOPE OF WORK DOES NOT VOID EXTG ROOF WARRANTY.
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1 REFLECTED CEILING PLAN - RENOVATION
3/16" = 1'-0"

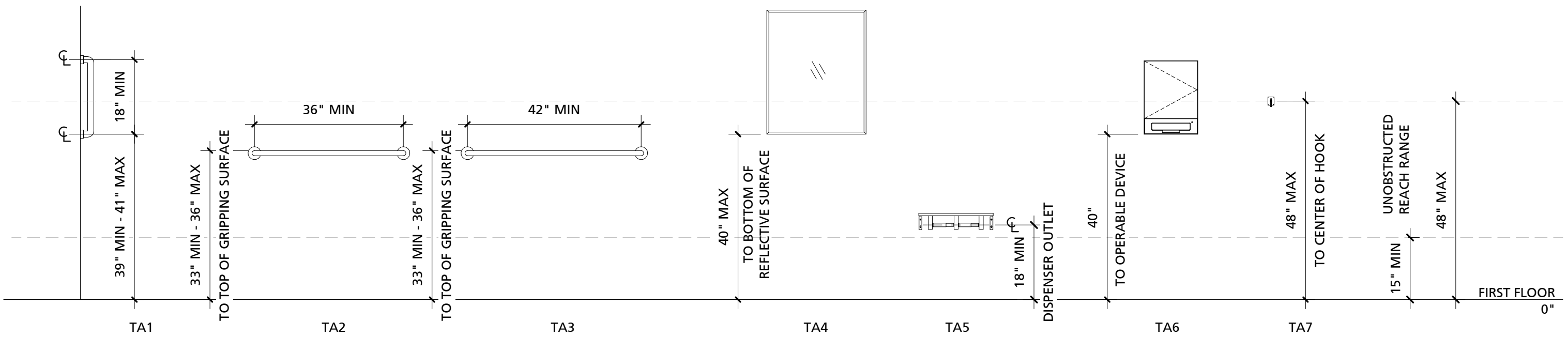
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CLIENT NAME	COLUMBIA HOUSING AUTHORITY
PROJECT NAME	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
PROJECT ADDRESS	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204
PROJECT NUMBER	C-19-066-2
SHEET NUMBER	A201
SHEET NAME	REFLECTED CEILING PLAN
DATE	05/04/2021

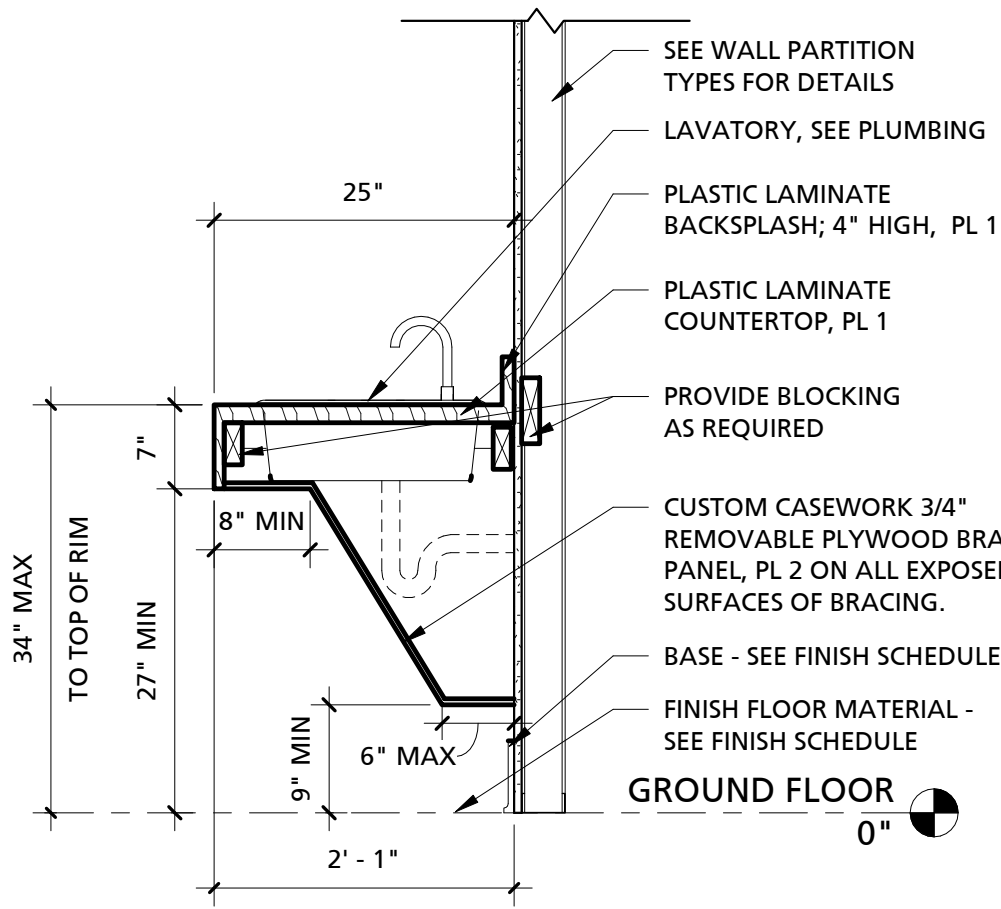
REVISIONS	No.	Description	Date

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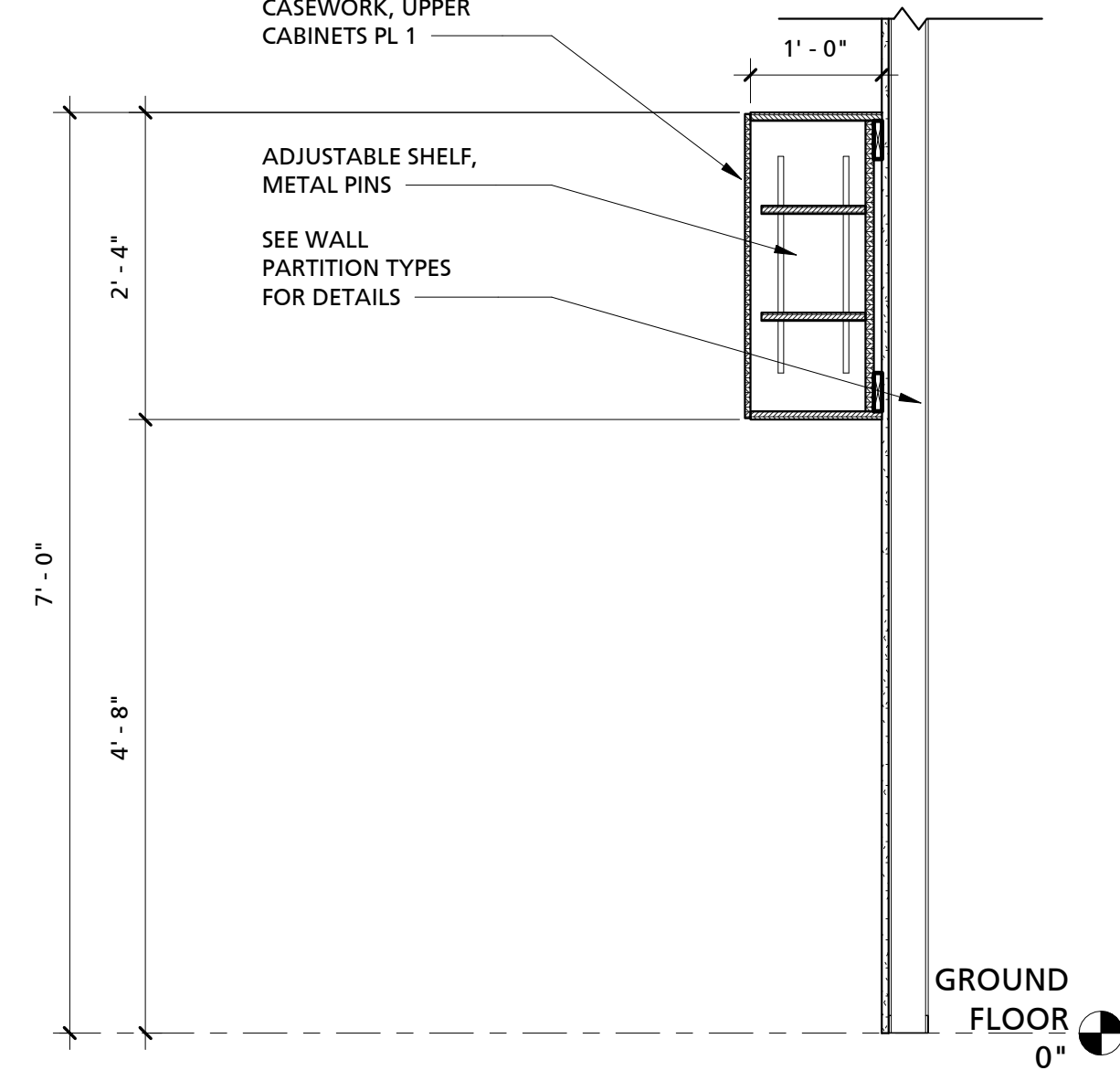


NOTES:
 1 COORDINATE ALL MOUNTING HEIGHTS WITH EXACT PRODUCT SELECTED. HEIGHTS SHOWN ABOVE ARE GENERAL, PER ANSI GUIDELINES.
 2 UNOBSTRUCTED REACH RANGE SHOWN PER ANSI GUIDELINES.
 3 DISPENSER OUTLETS TO BE MOUNTED 18" MIN AFF TO 1-1/2" BELOW GRAB BARS MAX. TOILET PAPER DISPENSERS MEASURED TO CENTERLINE OF ROLL SPINDLE.
 4 OPERABLE DEVICE MOUNTING HEIGHTS PER TABLE 603.5 ANSI 2017
 NOTE: DIMENSIONS SHOWN AT ENLARGED RESTROOM PLAN ARE FINISHED CLEAR DIMENSIONS, UNO

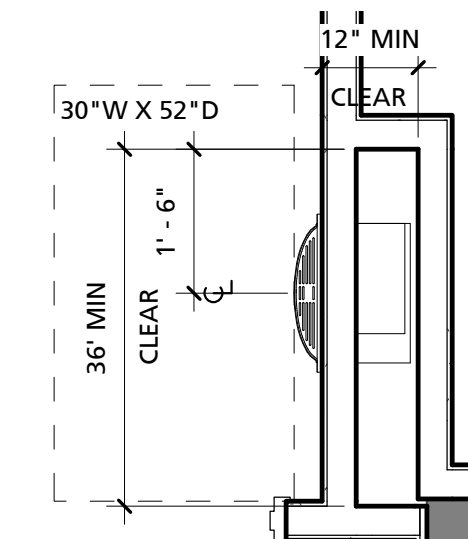
TOILET ACCESSORY MOUNTING HEIGHT
 1/2" = 1'-0"



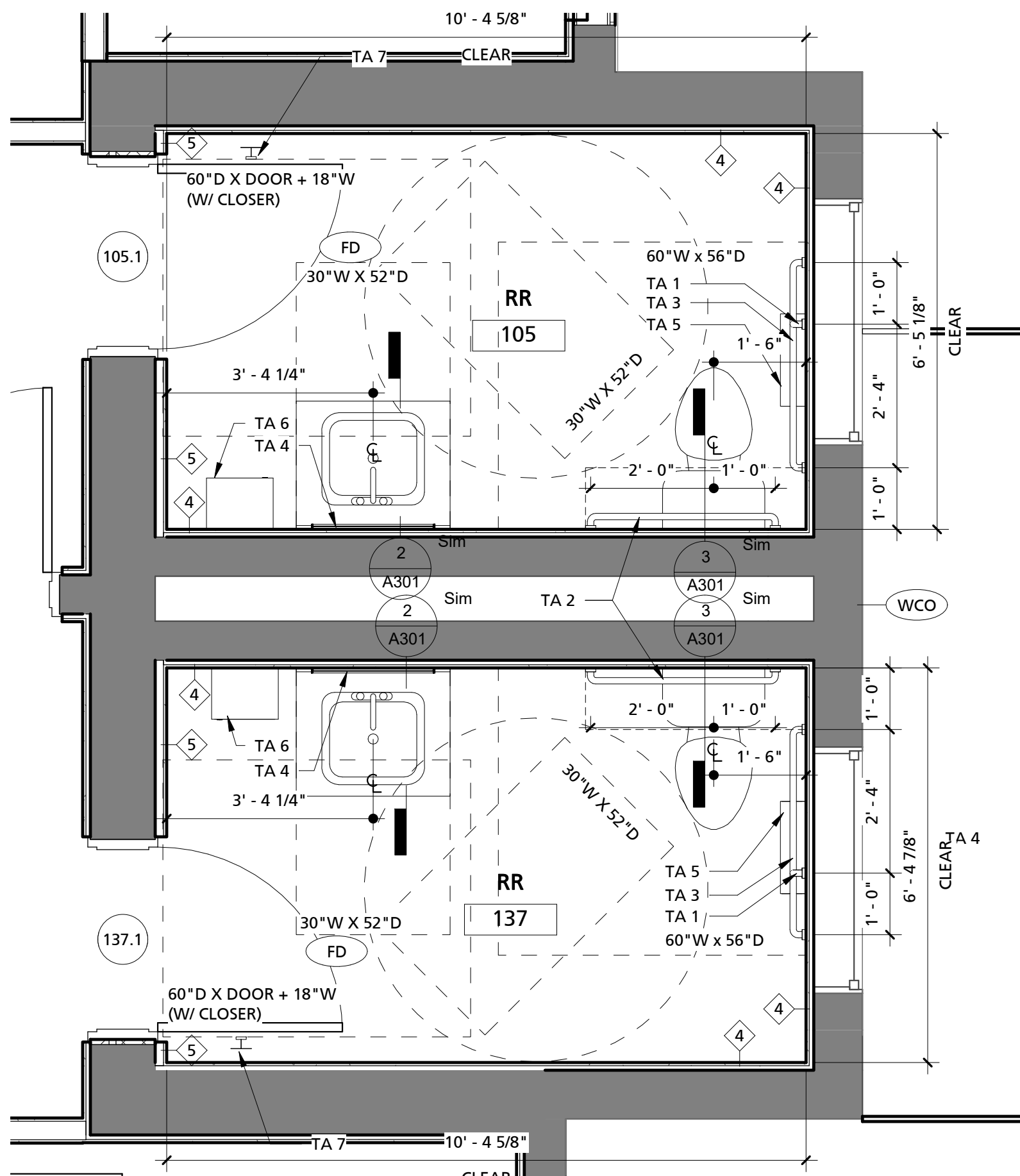
TYPICAL COUNTERTOP SECTION DETAIL W/ LAVATORY - ACCESSIBLE
 3/4" = 1'-0"



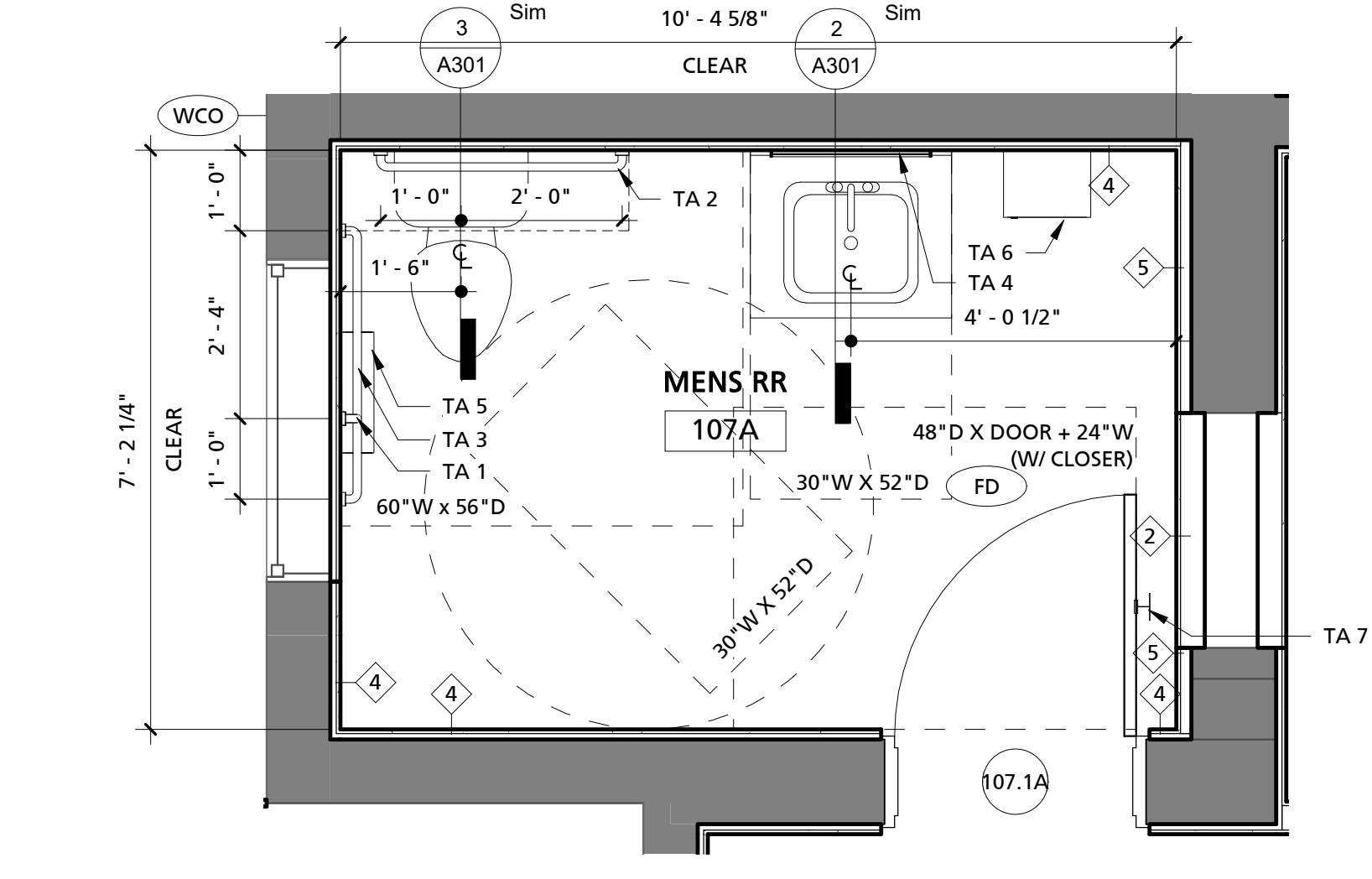
TYPICAL CASEWORK SECTION DETAIL ABOVE WATER CLOSET
 3/4" = 1'-0"



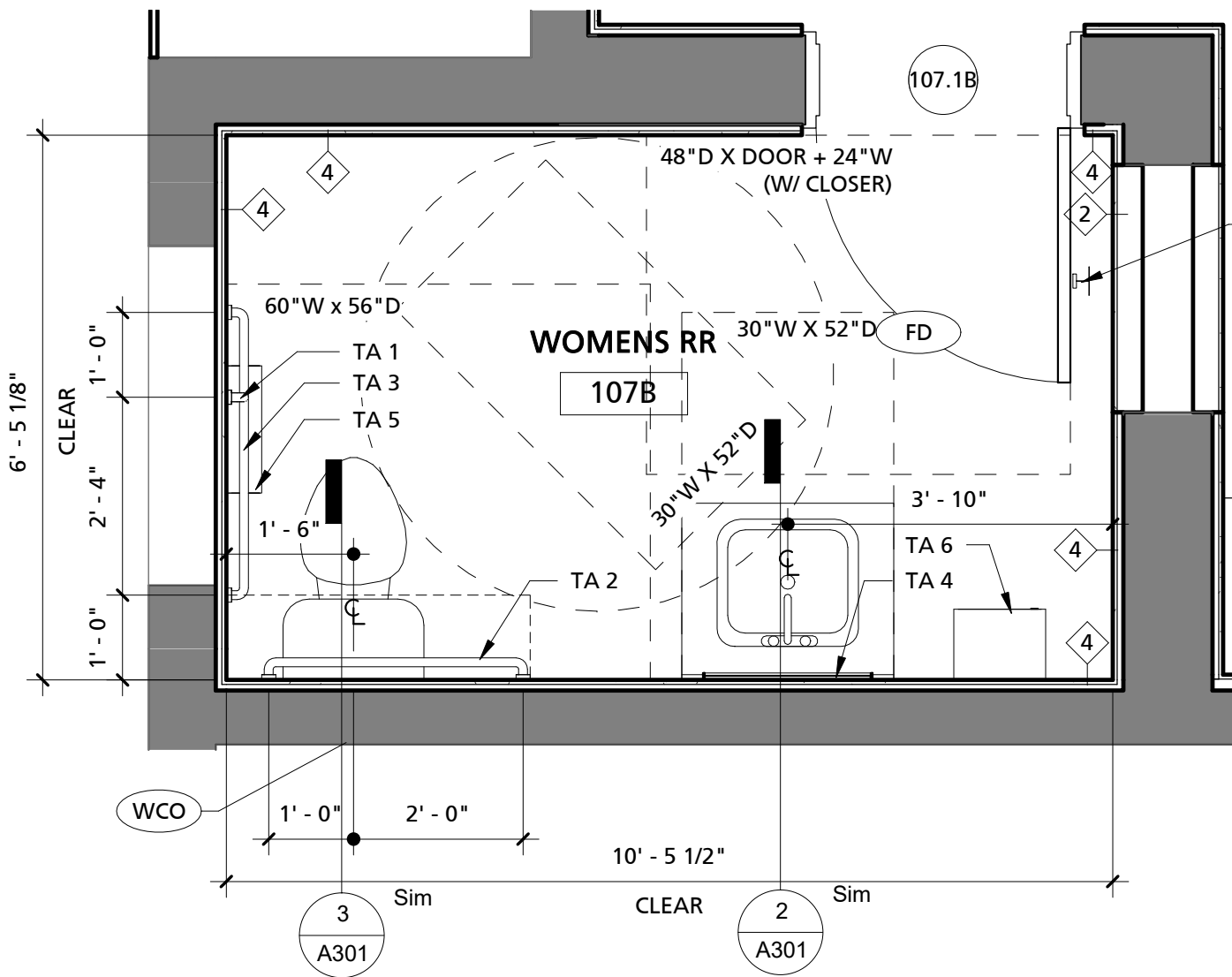
ENLARGED FLOOR PLAN AT BOTTLE FILLER
 1/2" = 1'-0"



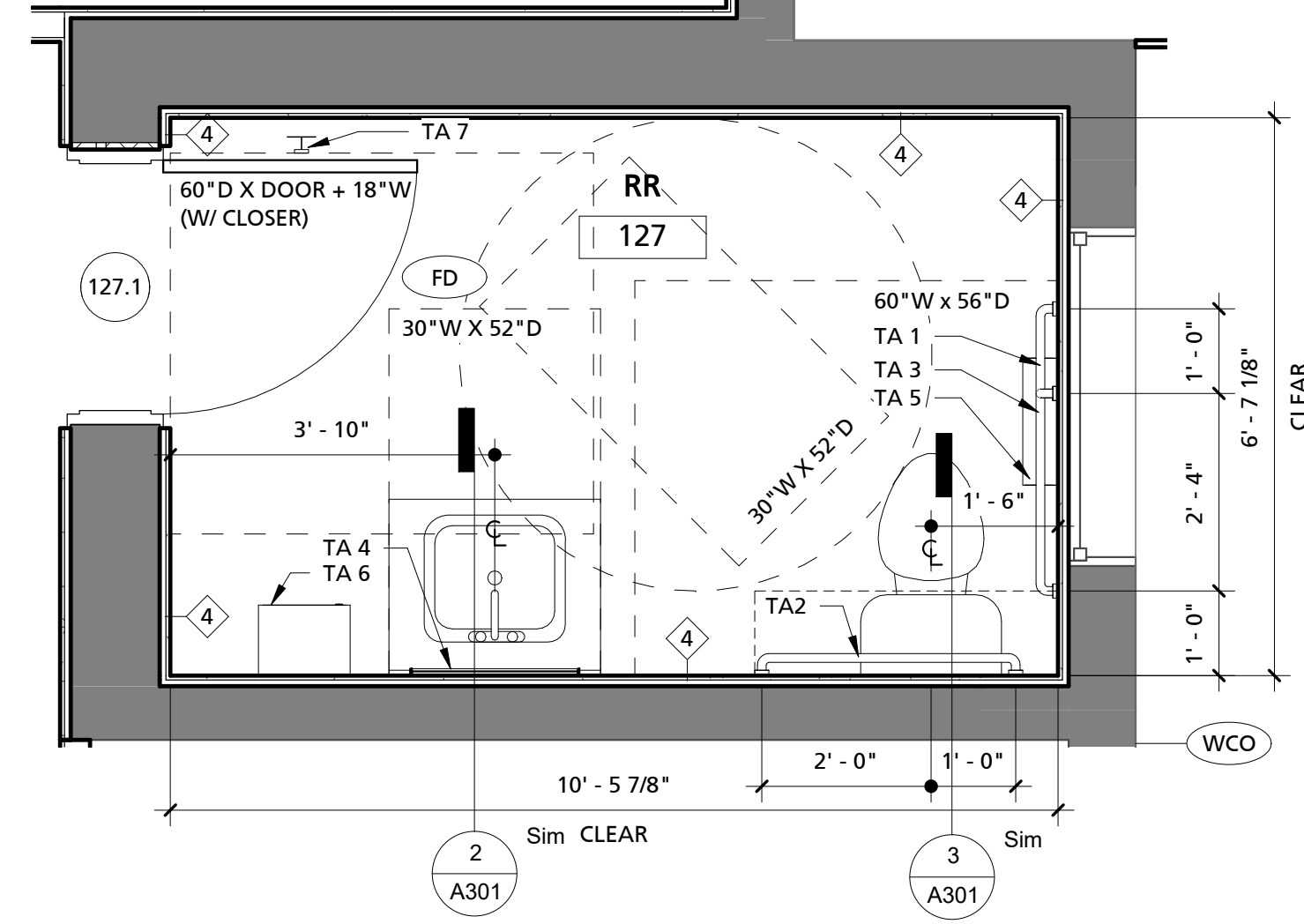
ENLARGED FLOOR PLAN RESTROOM 105 & 132
 1/2" = 1'-0"



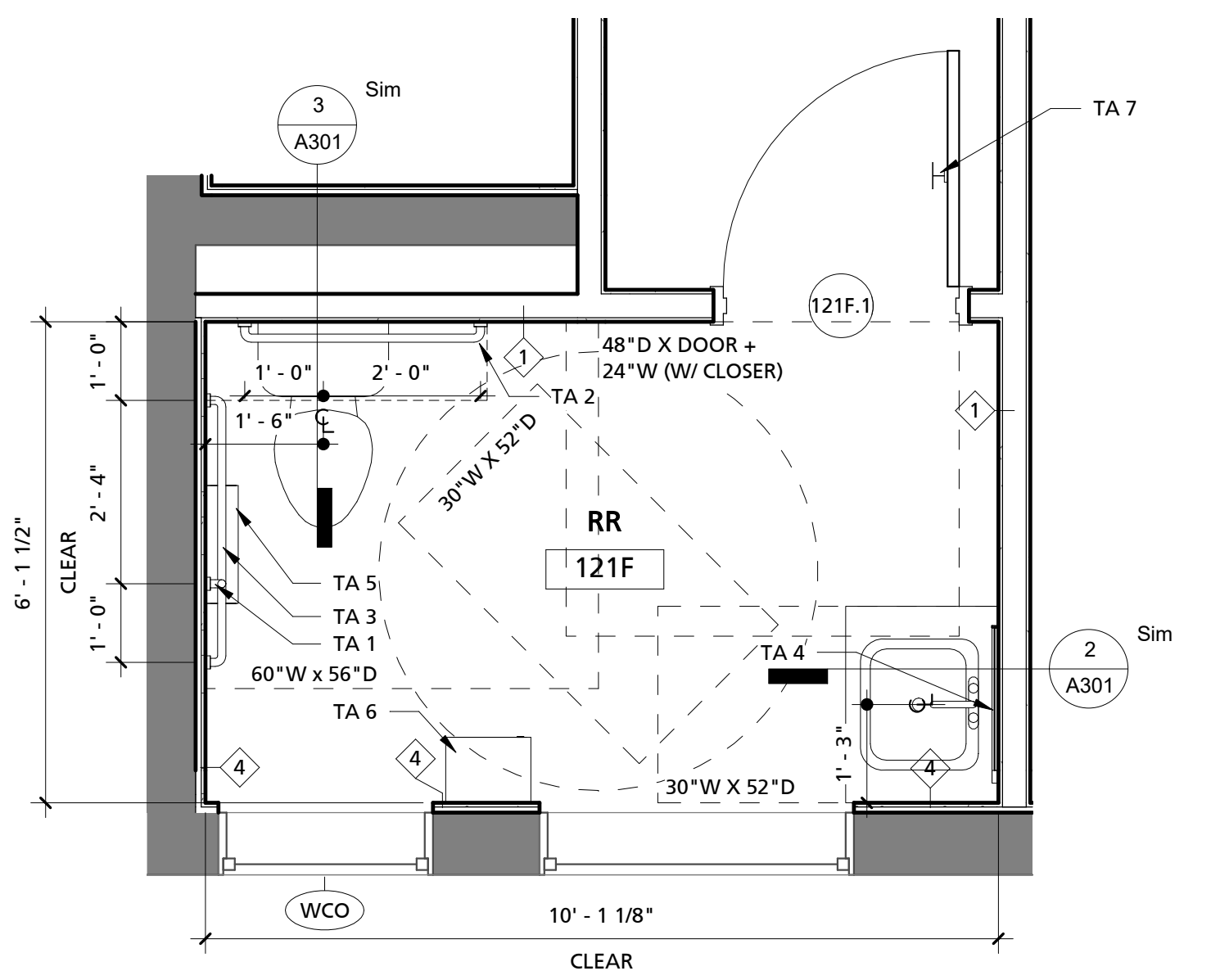
ENLARGED FLOOR PLAN AT RESTROOM 107A
 1/2" = 1'-0"



ENLARGED FLOOR PLAN AT RESTROOM 107B
 1/2" = 1'-0"



ENLARGED FLOOR PLAN AT RESTROOM 127
 1/2" = 1'-0"

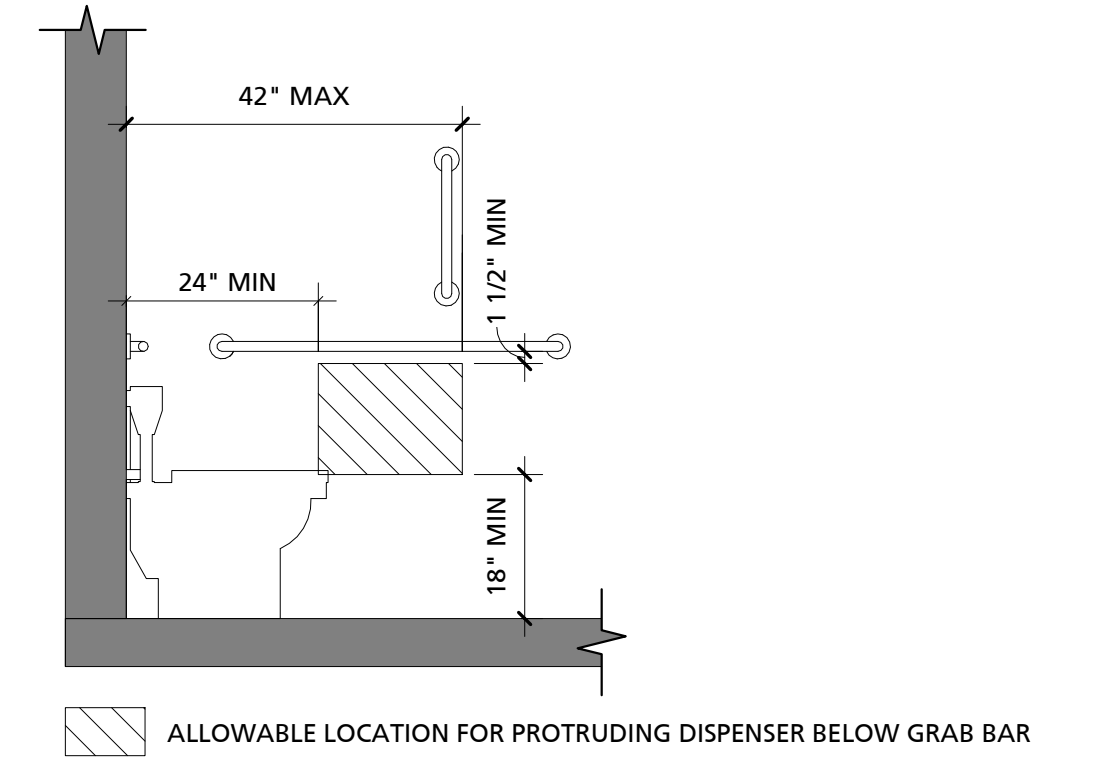


ENLARGED FLOOR PLAN AT RESTROOM 119F
 1/2" = 1'-0"

TOILET ACCESSORY NOTES

- TA1. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 18" LENGTH.
 - TA2. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 36" LENGTH.
 - TA3. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 42" LENGTH.
 - TA4. B-155 24" X 30" SERIES FRAMED MIRROR
 - TA5. ASI 0697-GAL TOILET PAPER HOLDERS W/SHELF
 - TA6. ASI 8523A STAINLESS STEEL TOILET PAPER DISPENSERS
 - TA7. B-6827 SURFACE MOUNTED HAT AND COAT HOOK
- NOTE: ALL TOILET ACCESSORIES EXCEPT TA 5 & TA 6 TO BE BY BOBRICK WASHROOM EQUIPMENT, OR APPROVED EQUAL

TYPICAL TOILET ACCESSORY MOUNTING LOCATION - PROTRUDING DISPENSERS



NOTE: ACCESSIBILITY STANDARDS ESTABLISHED PER ICC A117.1-2009 AND ADA 2010 EDITION.

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CLIENT NAME
 PROJECT NAME
 PROJECT ADDRESS

REVISIONS		
No.	Description	Date

PROJECT NUMBER: C-19-066-2

A301

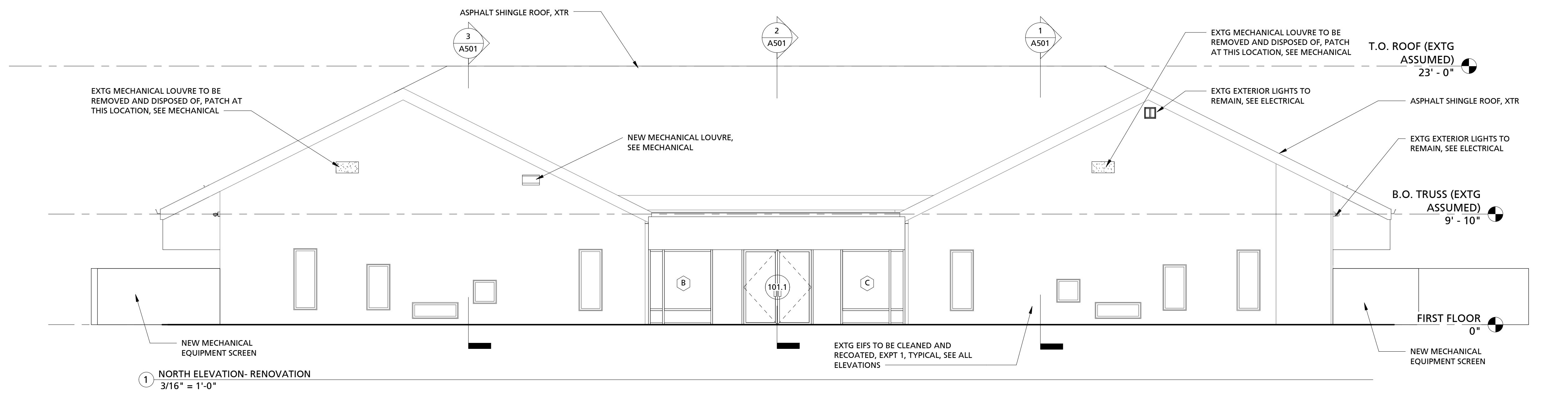
SHEET NAME: ENLARGED FLOOR PLANS

DATE: 05/04/2021

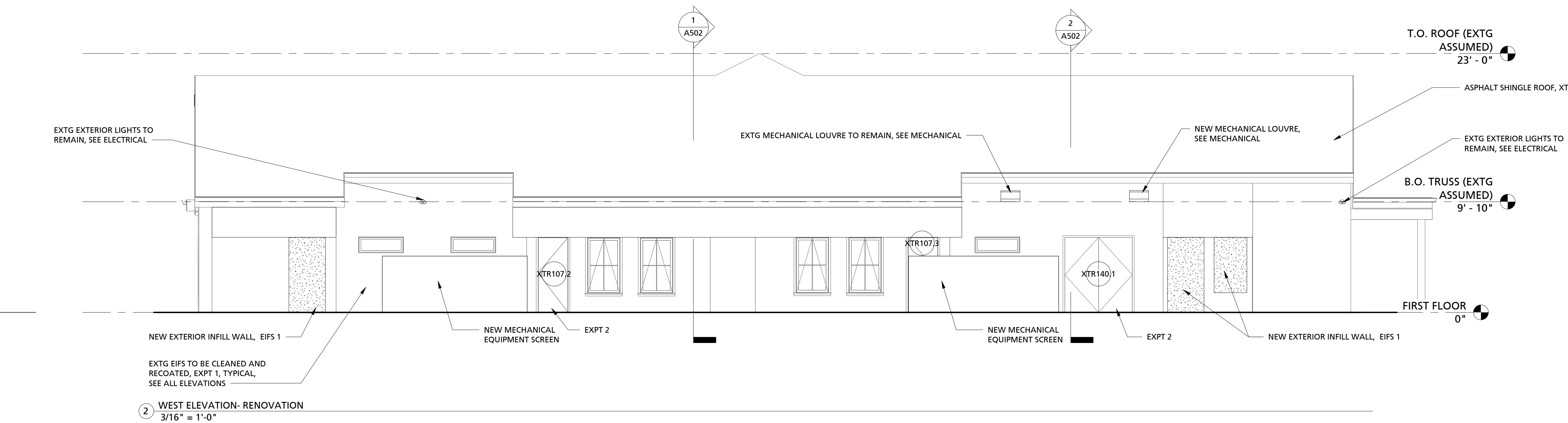
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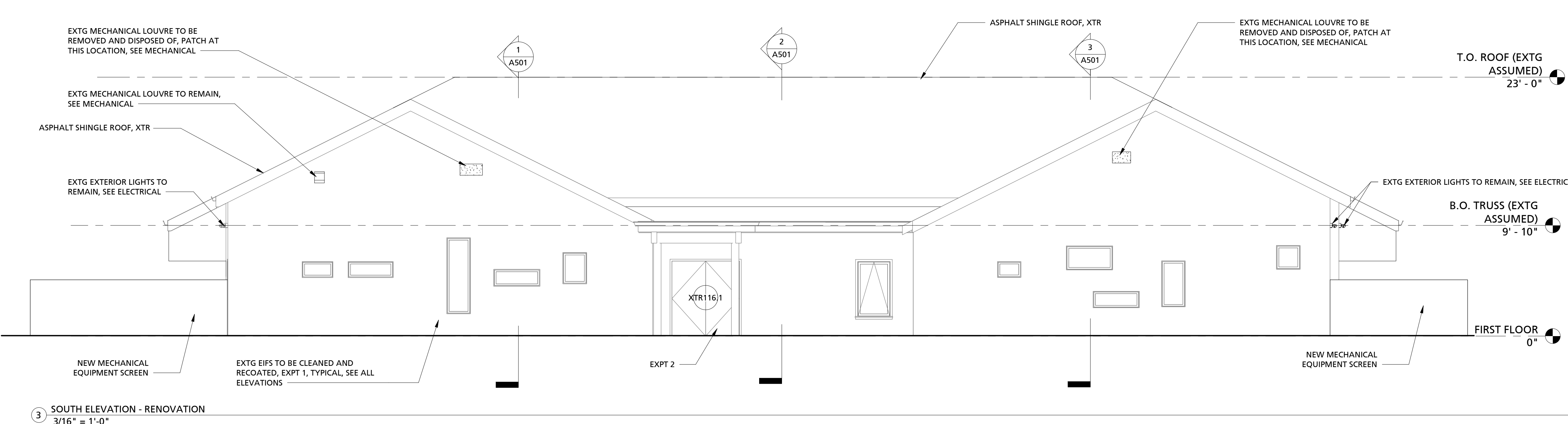
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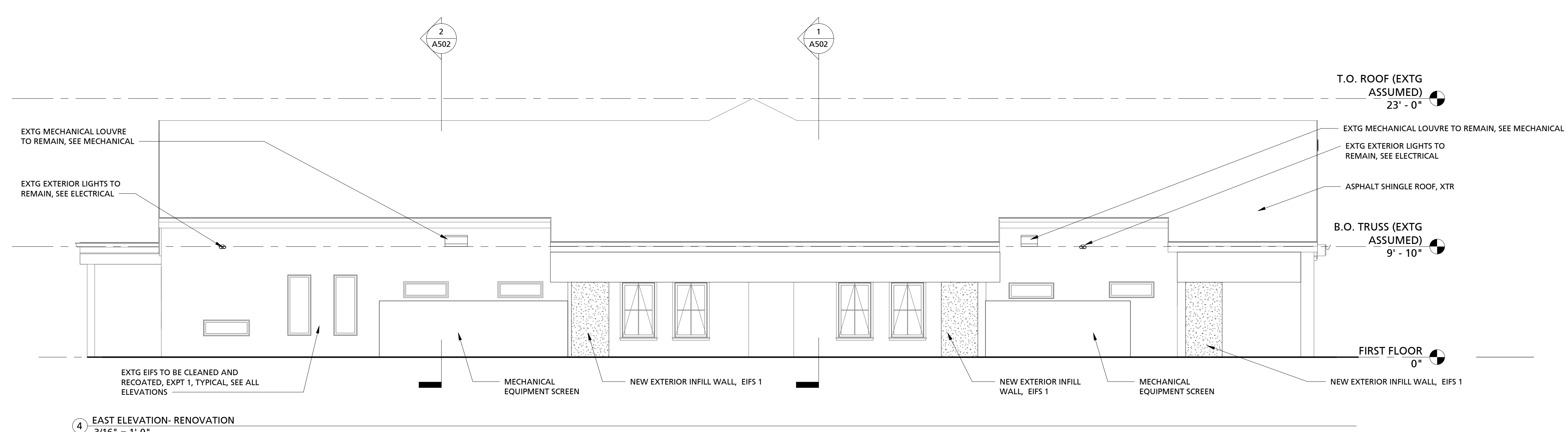
1 NORTH ELEVATION - RENOVATION
3/16" = 1'-0"



2 WEST ELEVATION - RENOVATION
3/16" = 1'-0"



3 SOUTH ELEVATION - RENOVATION
3/16" = 1'-0"



4 EAST ELEVATION - RENOVATION
3/16" = 1'-0"

GENERAL ELEVATION NOTES

1. NO CONTROL JOINTS ARE SHOWN IN EIFS SYSTEM. AFTER SELECTION AND APPROVAL OF EXACT EIFS SYSTEM TO BE USED, COORDINATE CONTROL JOINT REQUIREMENTS AND LOCATIONS WITH ARCHITECT.
2. ROOF SLOPE TO BE 1/2" UNLESS NOTED OTHERWISE.
3. DIMENSIONS TO FACE OF BRICK ARE FROM DOMINANT BRICK SURFACE ABOVE WATER TABLE.
4. REFER TO A800S FOR GLAZING AND STOREFRONT MATERIALS.

EXTERIOR MATERIAL KEY

EIFS 1 - WATER DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM

EXTERIOR MATERIAL LEGEND

EIFS 1 - WATER DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM
 MFR: STG CORP OR APPROVED EQUAL
 PRODUCT: TBD
 FINISH: TBD
 COLOR: TO BE SELECTED BY ARCHITECT FROM MFR FULL RANGE

EXPT 1 - EXTERIOR PAINT (FIELD COLOR)

CLEANING
 1) CLEAN ALL EXTG EIFS USING A "SOFT WASH" OF 1200 PSI MAX
 2) CLEAN USING:
 MFR: GREAT LAKES LABORATORIES
 PRODUCT: NO RINSE PREPAINT CLEANER

PAINT:
 MFR: ROSE TALBERT
 PRODUCT: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX LOW LUSTRE (2 COATS)
 COLOR: TBD
 FINISH: EG-SHEL

EXPT 2 - EXTERIOR PAINT (EXTERIOR DOORS)

MFR: ROSE TALBERT
 PRODUCT: TBD
 COLOR: TBD
 FINISH: EG-SHEL



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COLUMBIA HOUSING AUTHORITY

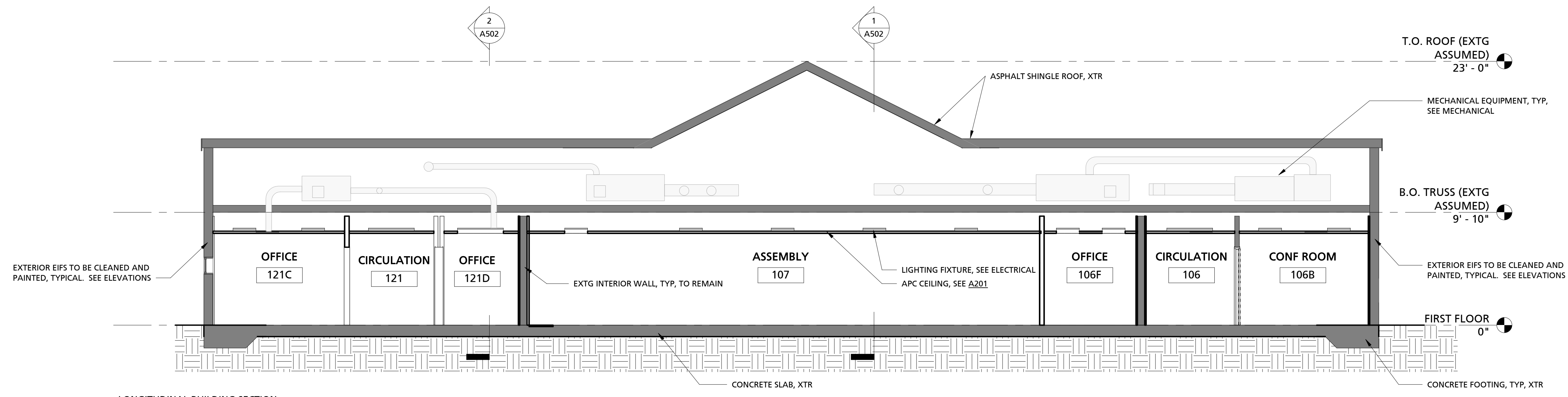
COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
 2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

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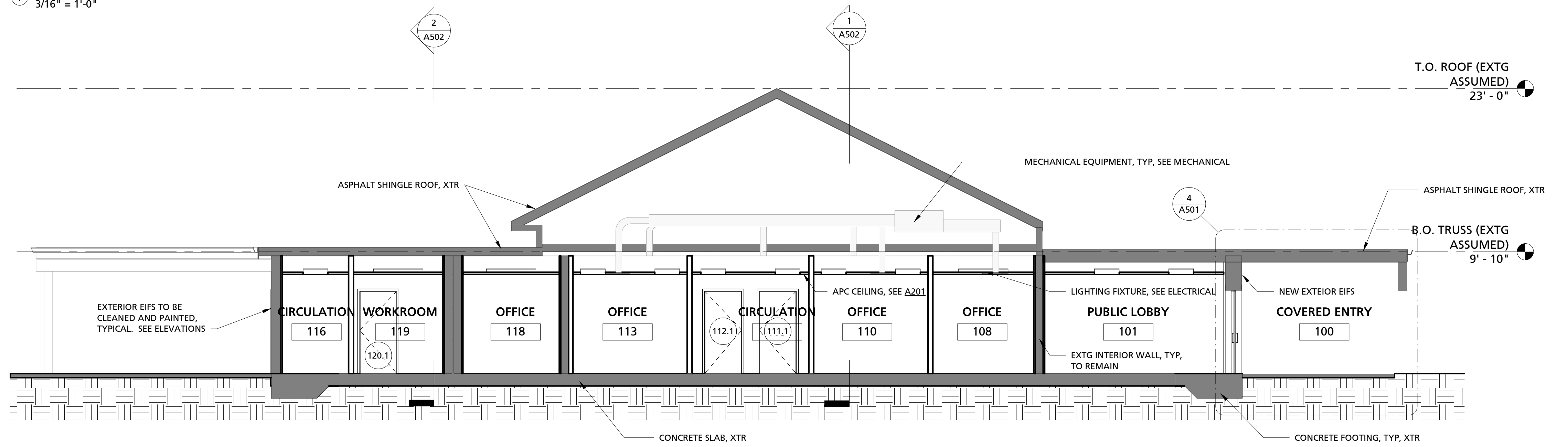
CLIENT NAME	COLUMBIA HOUSING AUTHORITY	
PROJECT NAME	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION	
PROJECT ADDRESS	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204	
REVISIONS		
No.	Description	Date
PROJECT NUMBER	C-19-066-2	
SHEET NUMBER	A401	
SHEET NAME	ELEVATIONS	
DATE	05/04/2021	

5/8/2021 1:45:26 PM

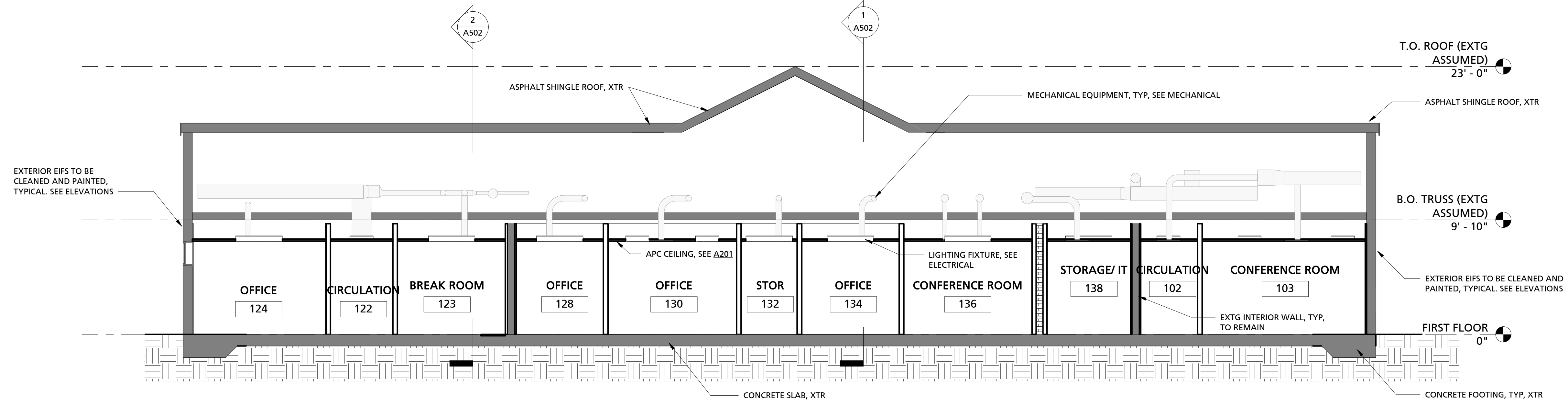
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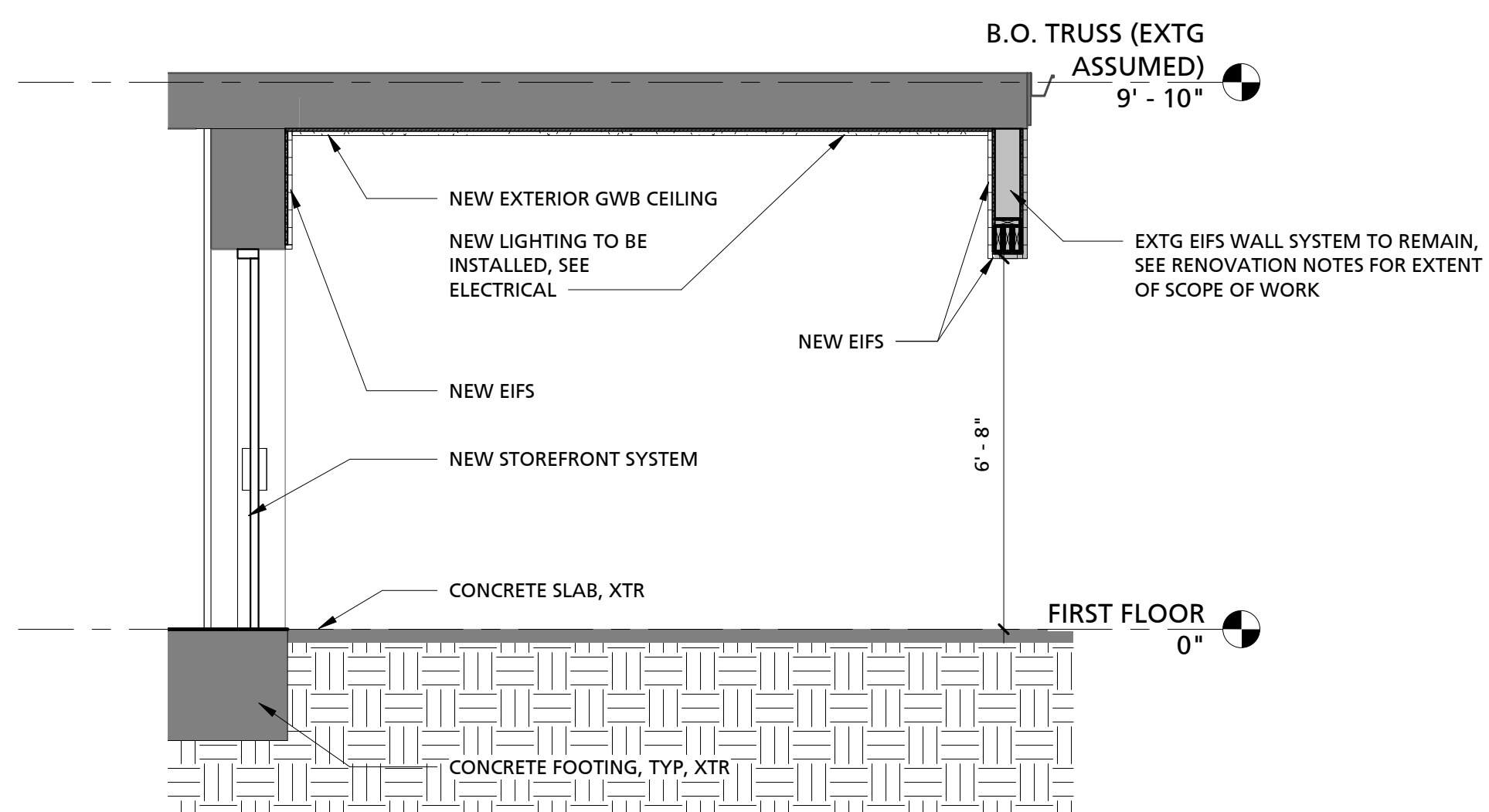
1 LONGITUDINAL BUILDING SECTION -
NORTH/SOUTH @ WEST WING
3/16" = 1'-0"



2 LONGITUDINAL BUILDING SECTION -
NORTH/SOUTH @ ENTRY
3/16" = 1'-0"



3 LONGITUDINAL BUILDING SECTION -
NORTH/SOUTH @ EAST WING
3/16" = 1'-0"



4 ENLARGED LONGITUDINAL BUILDING SECTION -
NORTH/SOUTH @ ENTRY
3/8" = 1'-0"

GENERAL BUILDING SECTION NOTES

- INSULATION NOT SHOWN IN INTERIOR PARTITIONS FOR CLARITY. REFER TO FLOOR PLAN AND PARTITION TYPES FOR DETAILS.
- REFER TO A201 FOR CEILING HEIGHTS AND TYPES.
- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL LIGHTING AND MECHANICAL DEVICE SPECIFICS.
- REFER TO A900S FOR CASEWORK AND FINISH DETAILS.
- ALL WOOD THAT COMES DIRECTLY INTO CONTACT WITH CEMENT OR MASONRY SHALL BE PRESSURE TREATED.



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COLUMBIA HOUSING AUTHORITY

COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

CLIENT NAME
PROJECT NAME
PROJECT ADDRESS

REVISIONS		
No.	Description	Date

PROJECT NUMBER: C-19-066-2

SHEET NUMBER: A501

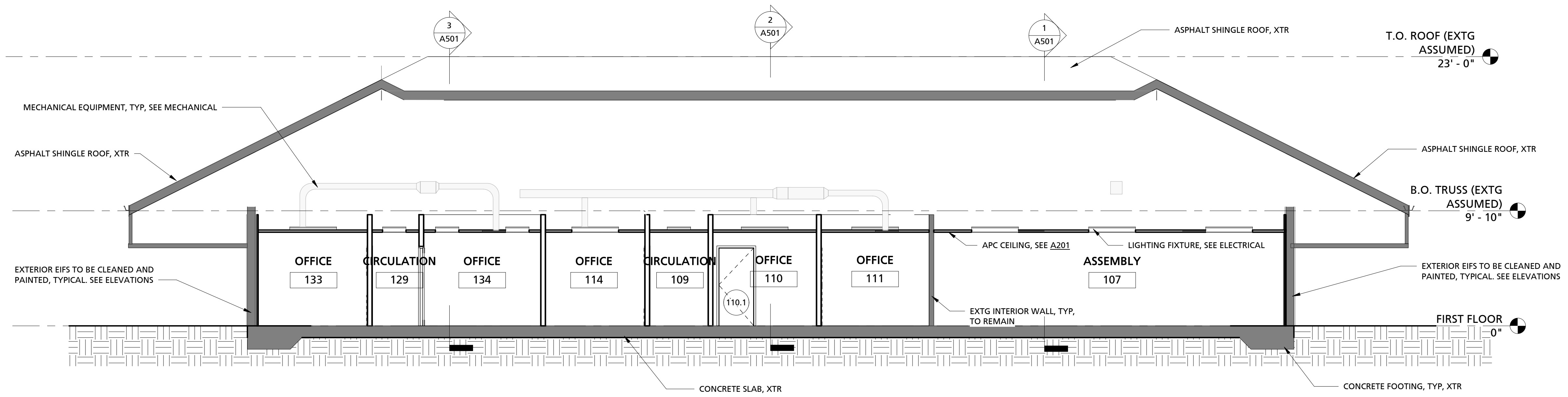
SHEET NAME: BUILDING SECTIONS

DATE: 05/04/2021

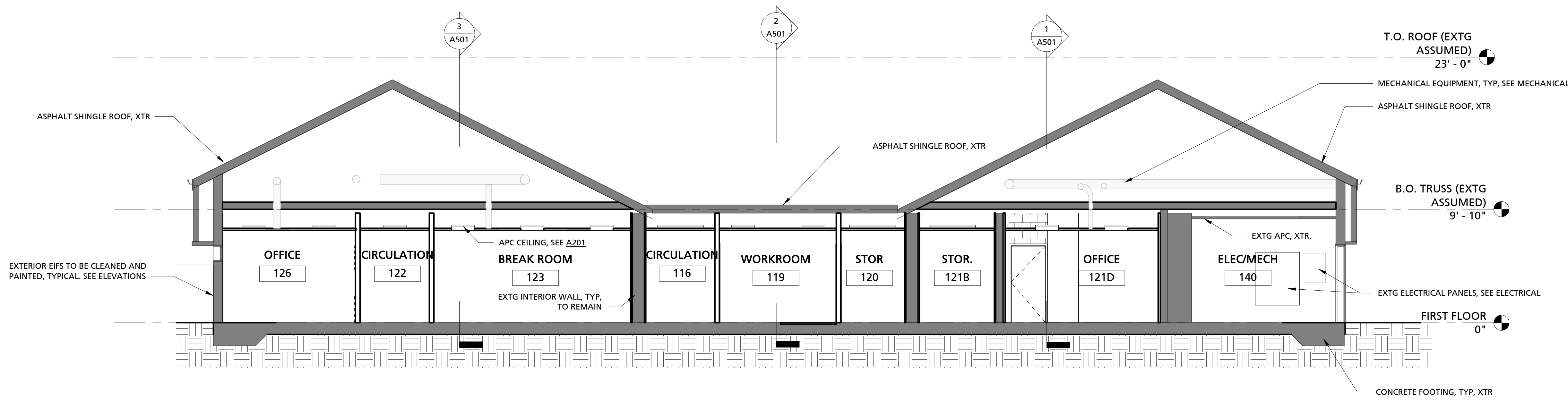
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1
 TRANSVERSE BUILDING SECTION - EAST/WEST
 @ ASSEMBLY
 3/16" = 1'-0"



2
 TRANSVERSE BUILDING SECTION - EAST/WEST
 @ OFFICE SPACE
 3/16" = 1'-0"

GENERAL BUILDING SECTION NOTES

1. INSULATION NOT SHOWN IN INTERIOR PARTITIONS FOR CLARITY. REFER TO FLOOR PLAN AND PARTITION TYPES FOR DETAILS.
2. REFER TO A201 FOR CEILING HEIGHTS AND TYPES.
3. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL LIGHTING AND MECHANICAL DEVICE SPECIFICS.
4. REFER TO A900S FOR CASEWORK AND FINISH DETAILS.
5. ALL WOOD THAT COMES DIRECTLY INTO CONTACT WITH CEMENT OR MASONRY SHALL BE PRESSURE TREATED.



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CLIENT NAME
 PROJECT NAME
 PROJECT ADDRESS

REVISIONS		
No.	Description	Date

PROJECT NUMBER: C-19-066-2

SHEET NUMBER: A502

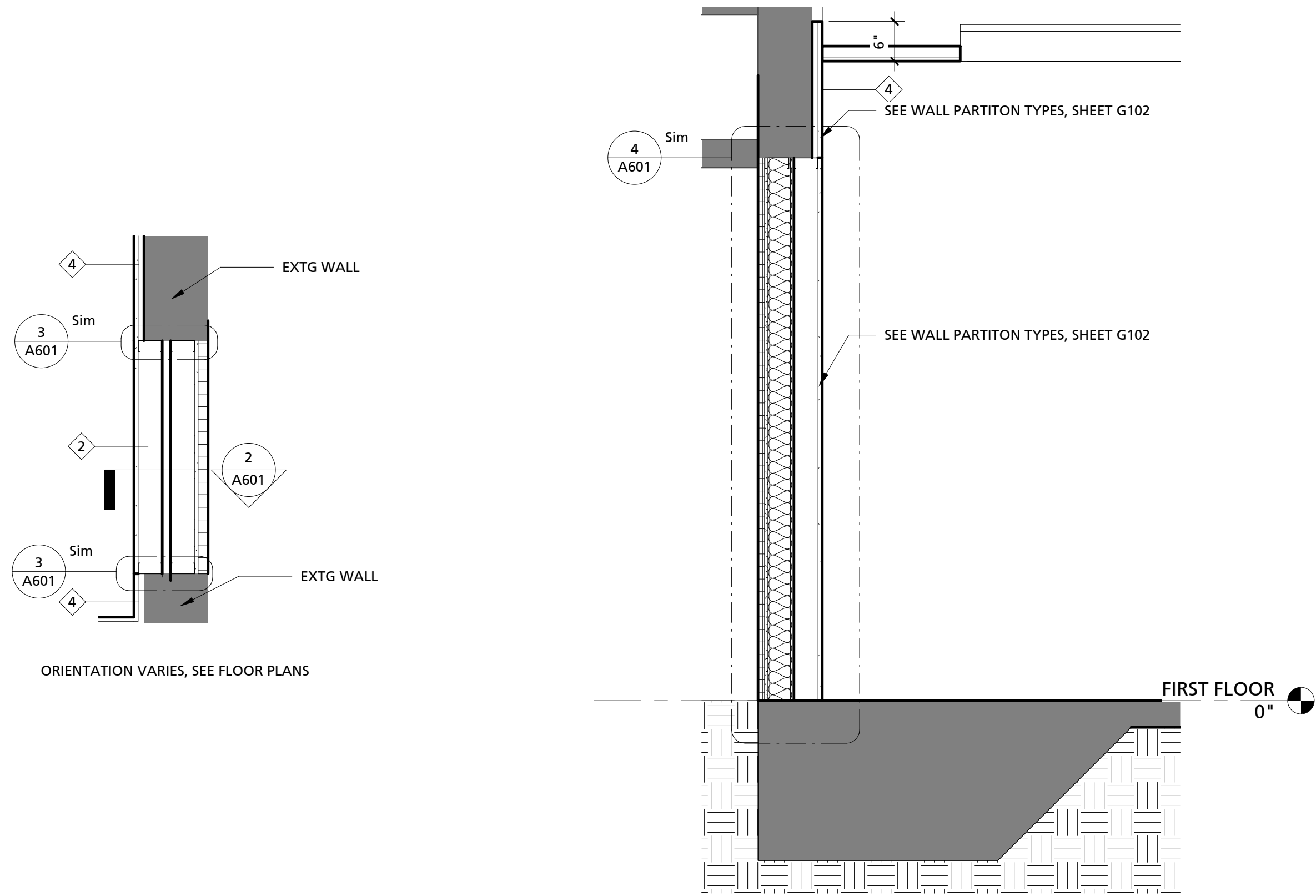
SHEET NAME: BUILDING SECTIONS

DATE: 05/04/2021

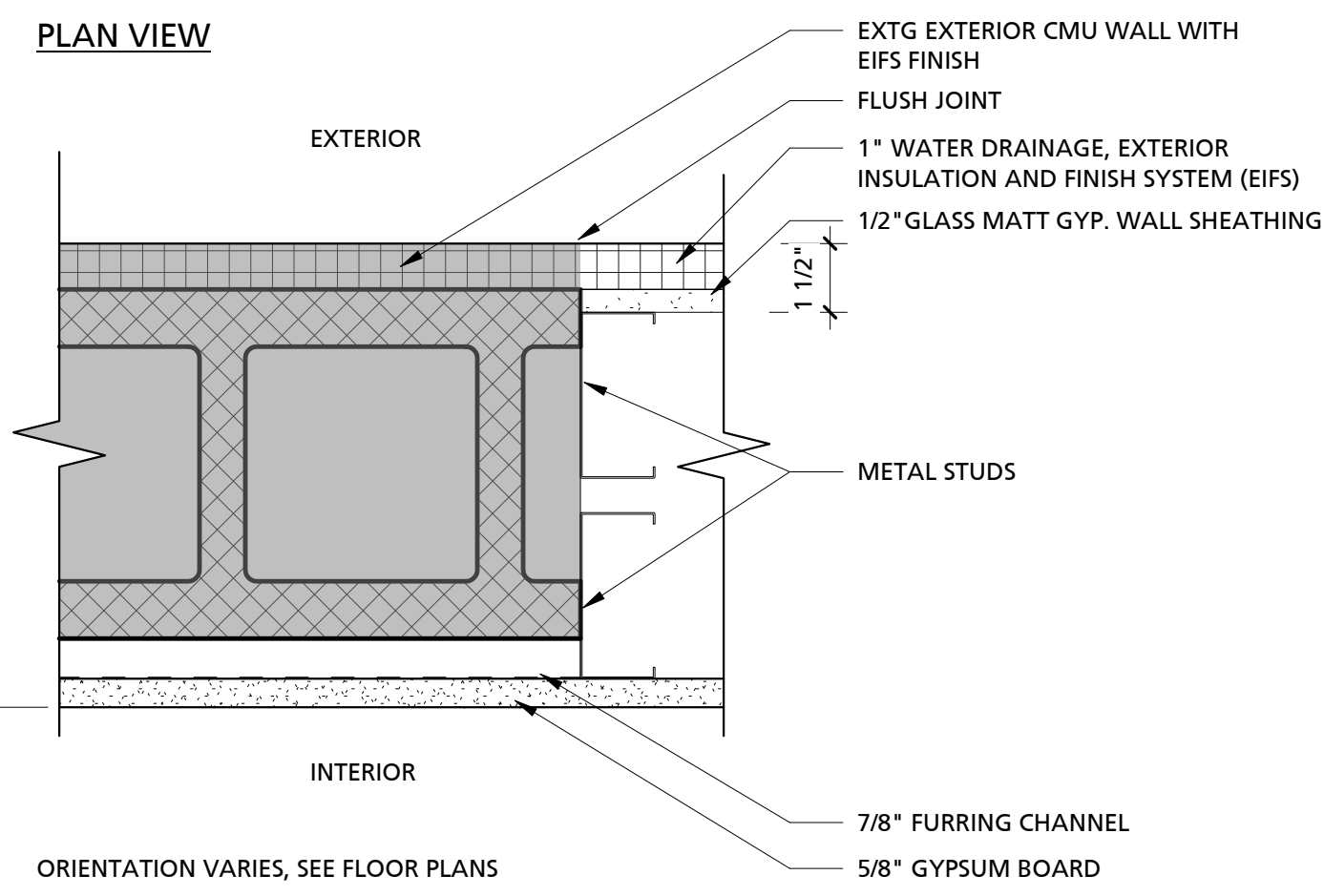
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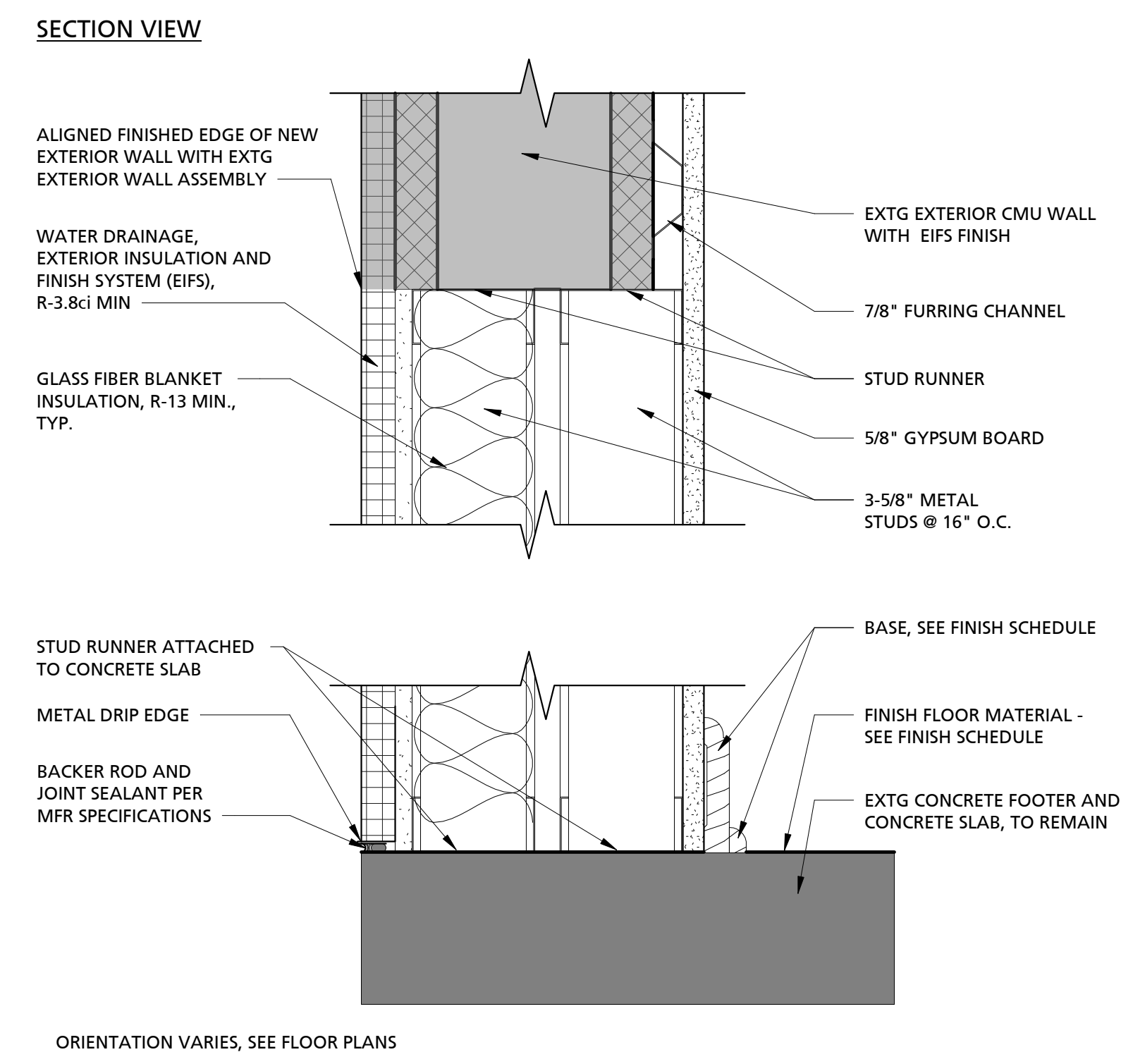
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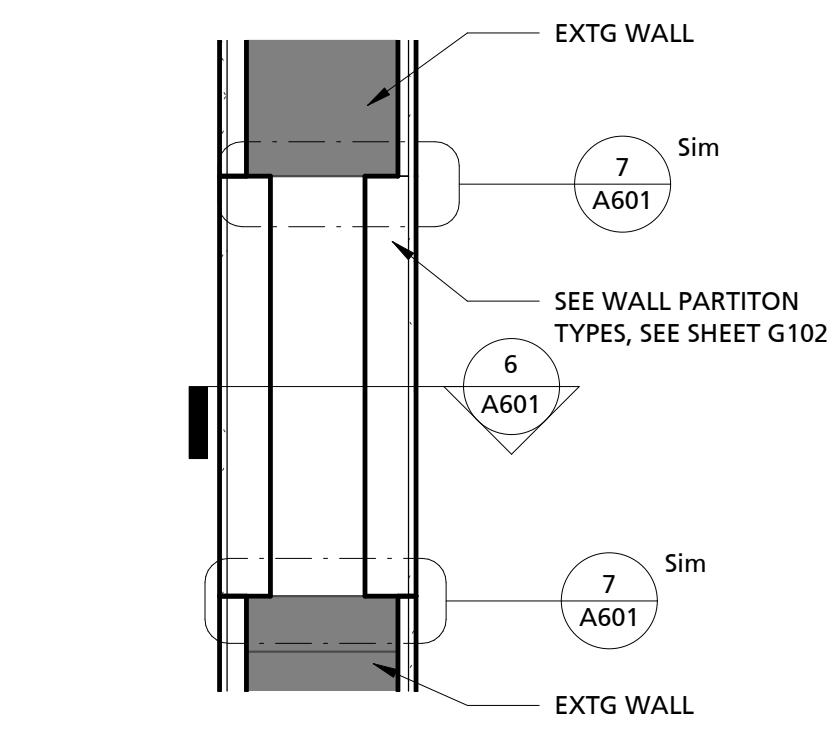
1 TYPICAL ENLARGED PLAN DETAIL AT EXTERIOR WALL INFILL
3/4" = 1'-0"



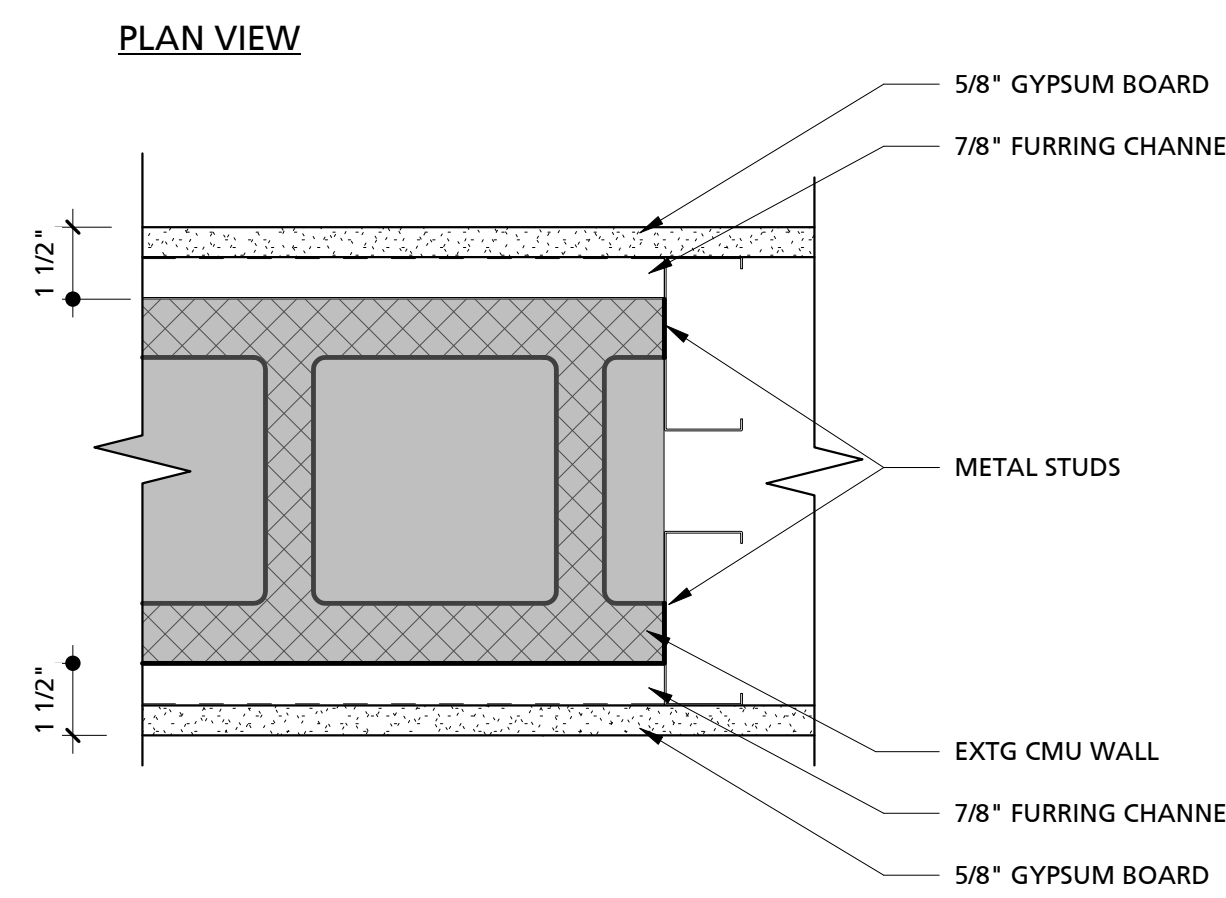
3 ENLARGED CONNECTION DETAIL AT EXTERIOR WALL INFILL, TYP.
3" = 1'-0"



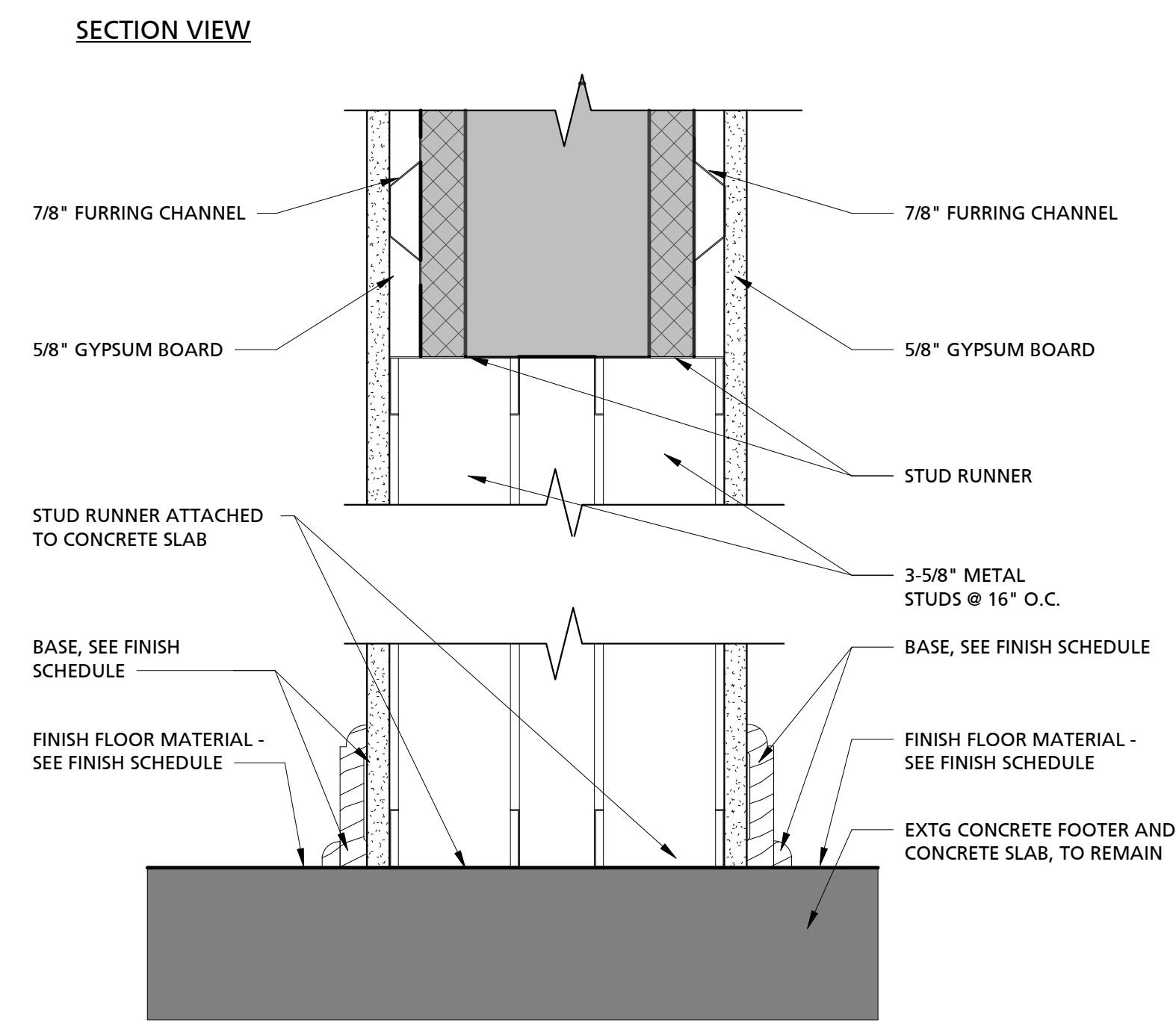
4 ENLARGED HEAD AND FOOTER DETAIL AT EXTERIOR WALL INFILL, TYP.
3" = 1'-0"



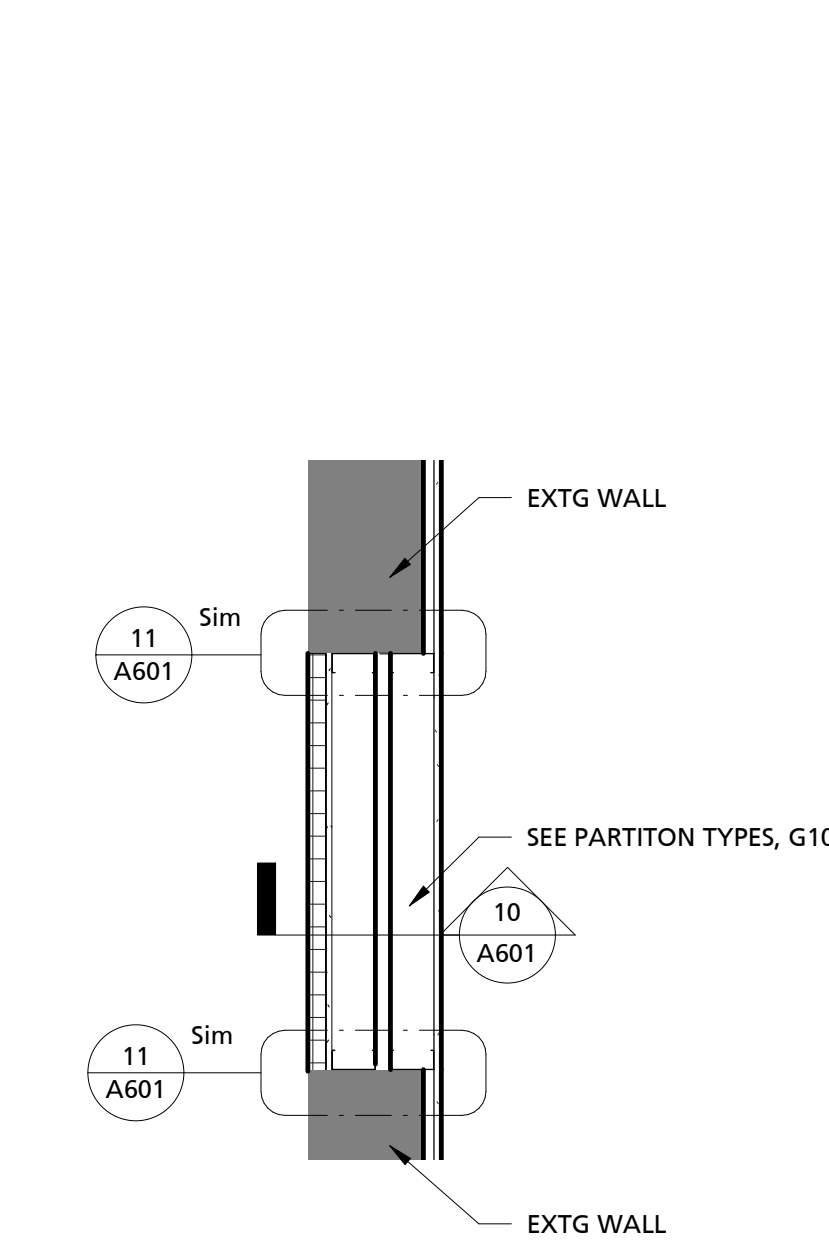
5 TYPICAL DETAIL AT INTERIOR WALL INFILL
3/4" = 1'-0"



7 ENLARGED CONNECTION DETAIL AT INTERIOR WALL INFILL, TYP.
3" = 1'-0"

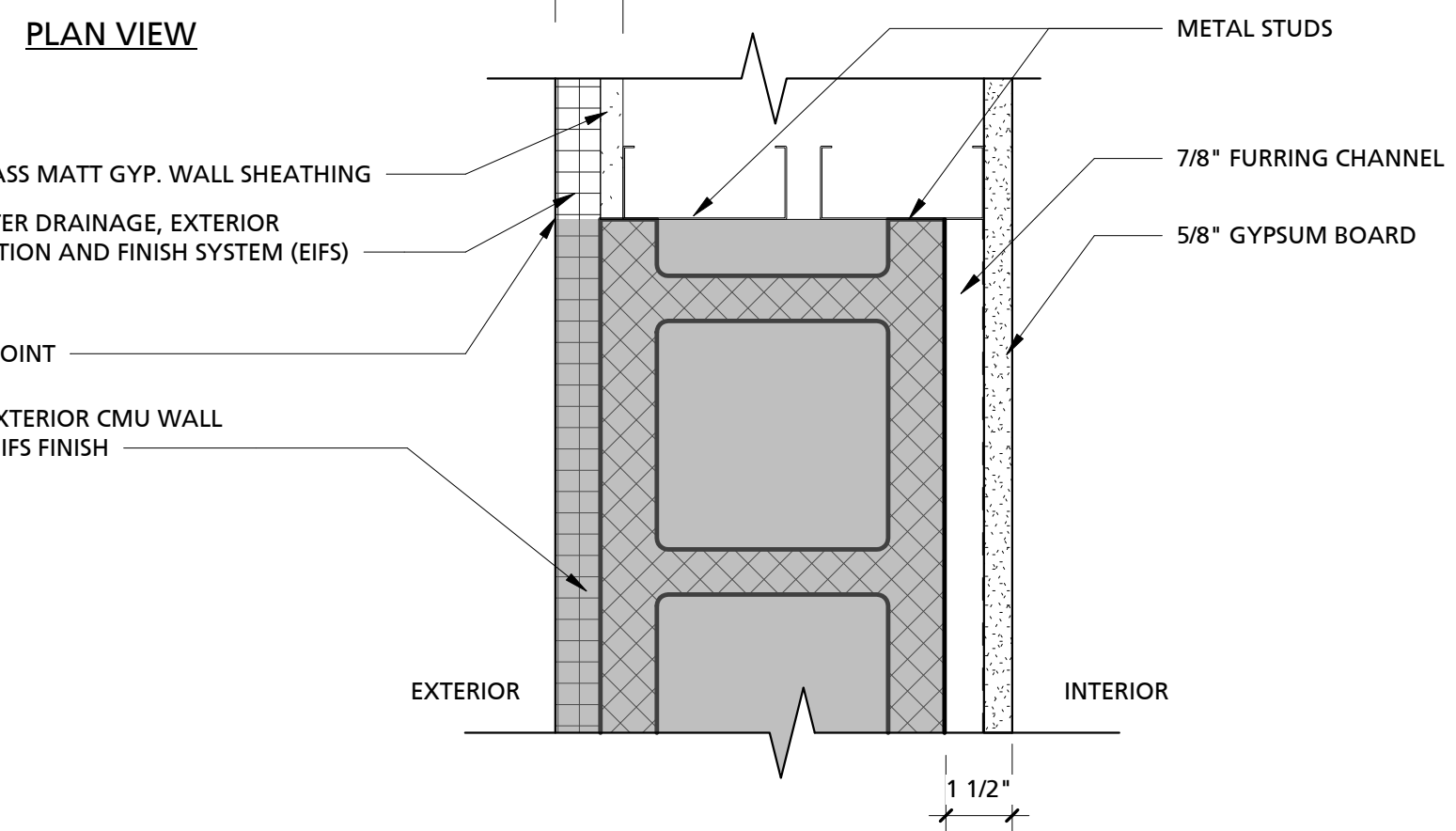


8 ENLARGED HEAD AND FOOTER DETAIL AT INTERIOR WALL INFILL, TYP.
3" = 1'-0"

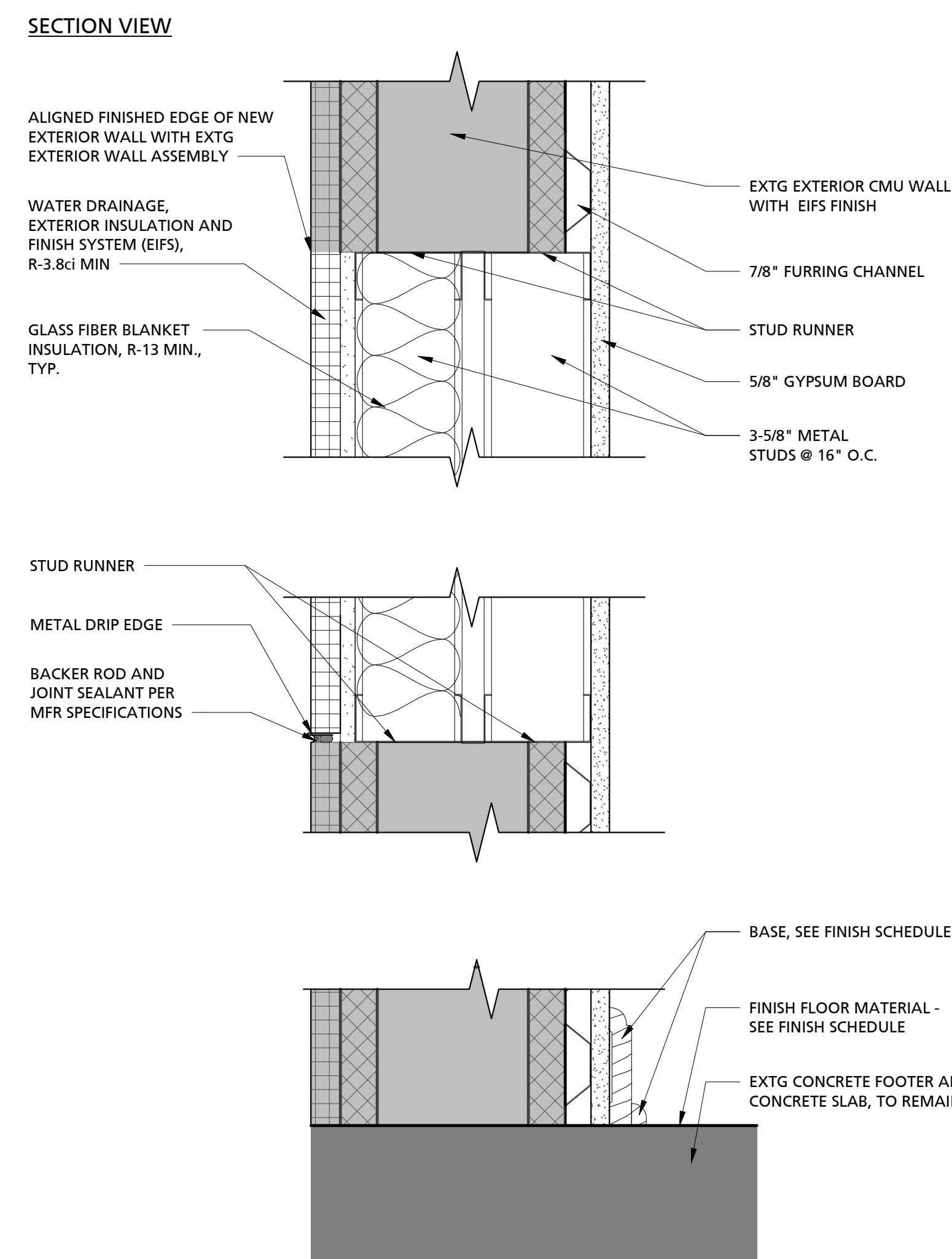


9 DETAIL AT EXTERIOR WINDOW INFILL
3/4" = 1'-0"

6 TYPICAL ENLARGED WALL SECTION AT INTERIOR WALL INFILL
3/4" = 1'-0"



11 ENLARGED CONNECTION DETAIL AT EXTERIOR WINDOW INFILL
3" = 1'-0"



12 ENLARGED HEAD AND SLAB DETAIL AT EXTERIOR WINDOW INFILL
3" = 1'-0"

GENERAL WALL SECTION NOTES

1. DIMENSIONS TO EIFS ARE TO ACTUAL THICKNESS OF INSULATION, USING THE BASIS-OF-DESIGN SYSTEM, AS INDICATED ON A401, TO ACHIEVE INTENDED R-VALUE. SHOULD EIFS SYSTEM INSULATION TYPE OR INSTALLED THICKNESS CHANGE, NOTIFY ARCHITECT IMMEDIATELY, AS IECC REQUIREMENTS MAY NO LONGER BE MET. REFER TO A201 FOR CEILING HEIGHTS AND TYPES.
2. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL LIGHTING AND MECHANICAL DEVICE SPECIFICS.
3. REFER TO A900S FOR CASEWORK AND FINISH DETAILS.
4. ALL WOOD THAT COMES DIRECTLY INTO CONTACT WITH CEMENT OR MASONRY SHALL BE PRESSURE TREATED.



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2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

CLIENT NAME	PROJECT NAME	PROJECT ADDRESS
COLUMBIA HOUSING AUTHORITY	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

REVISIONS		
No.	Description	Date

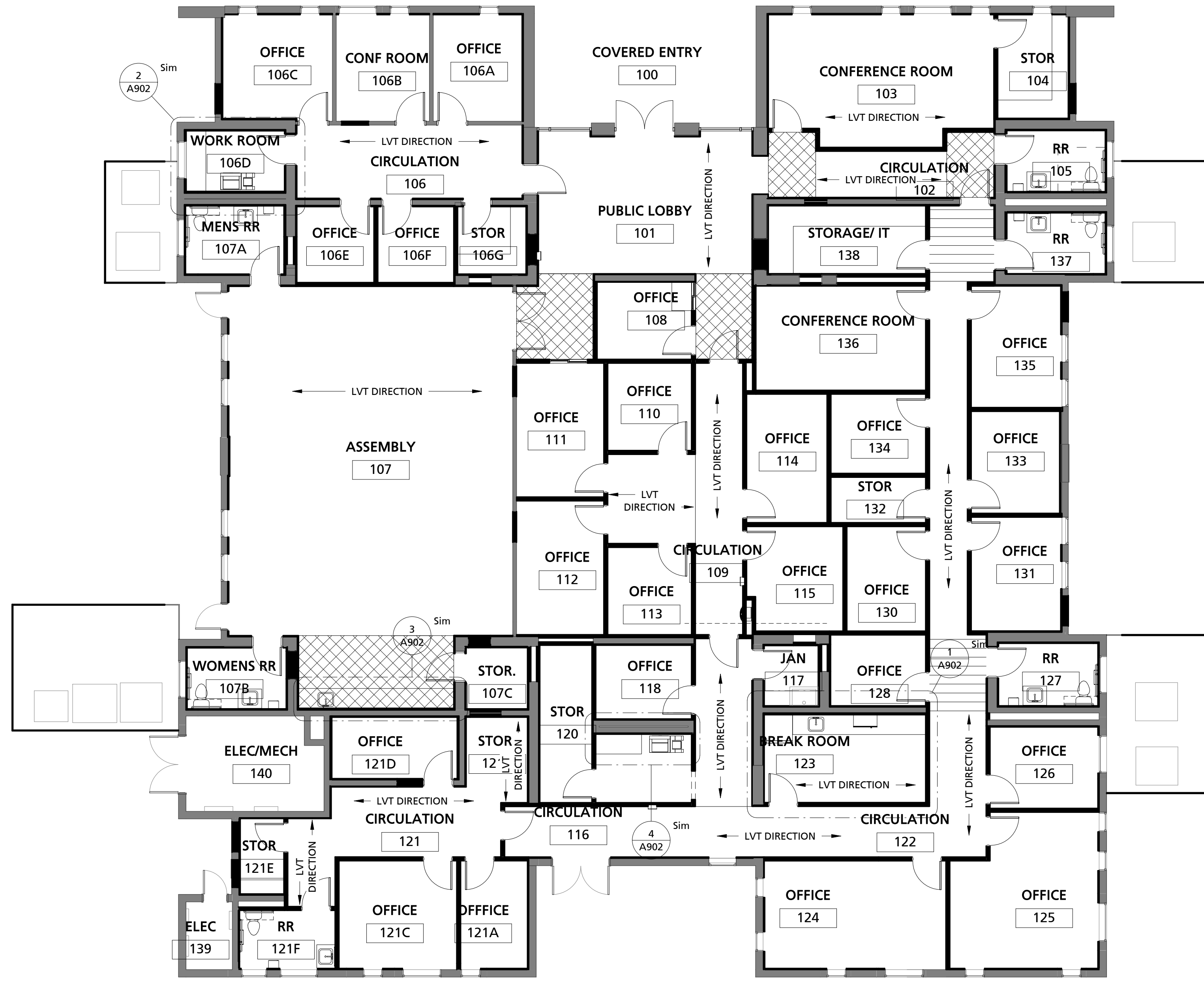
PROJECT NUMBER	C-19-066-2
SHEET NUMBER	A601
SHEET NAME	WALL SECTIONS
DATE	05/04/2021

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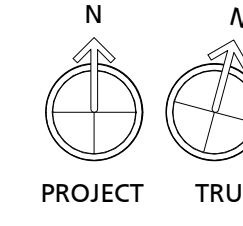
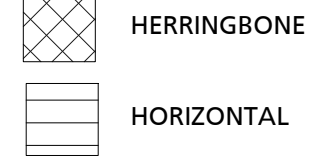
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ROOM FINISH SCHEDULE										
NO.	NAME	FLOOR FINISH	BASE FINISH	CEILING FINISH	WALL FINISH (PLAN ORIENTATION)				COMMENTS	
					NORTH	SOUTH	EAST	WEST		
100	COVERED ENTRY	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
101	PUBLIC LOBBY	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
102	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
103	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
104	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
105	RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106A	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106B	CONF ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106C	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106D	WORK ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106E	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106F	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
106G	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
107	ASSEMBLY	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
107A	MENS RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
107B	WOMENS RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
107C	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
108	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
109	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
110	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
111	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
112	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
113	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
114	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
115	WORK ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
115	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
116	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
117	JAN	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
118	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
119	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
119	WORKROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
120	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
121	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
121A	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
121B	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
121C	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
121D	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
121E	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
121F	RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
122	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
123	BREAK ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
124	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
125	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
126	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
127	RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
128	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
129	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
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131	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
132	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
133	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
134	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
135	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
136	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
137	RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
138	STORAGE/IT	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
139	BREAK ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1		
139	ELEC	XTR	XTR	XTR	XTR	XTR	XTR	XTR		
140	ELECMECH	XTR	XTR	XTR	XTR	XTR	XTR	XTR		



LVT PATTERN LEGEND

NOTE: LVT IN ROOM OFF CIRCULATION SPACES TO RUN PERPENDICULAR TO LVT DIRECTION IN CIRCULATION. PROVIDE ARCHITECT WITH FLOORING LAYOUT DRAWING PRIOR TO INSTALL.



INTERIOR FINISH SPECIFICATION LEGEND

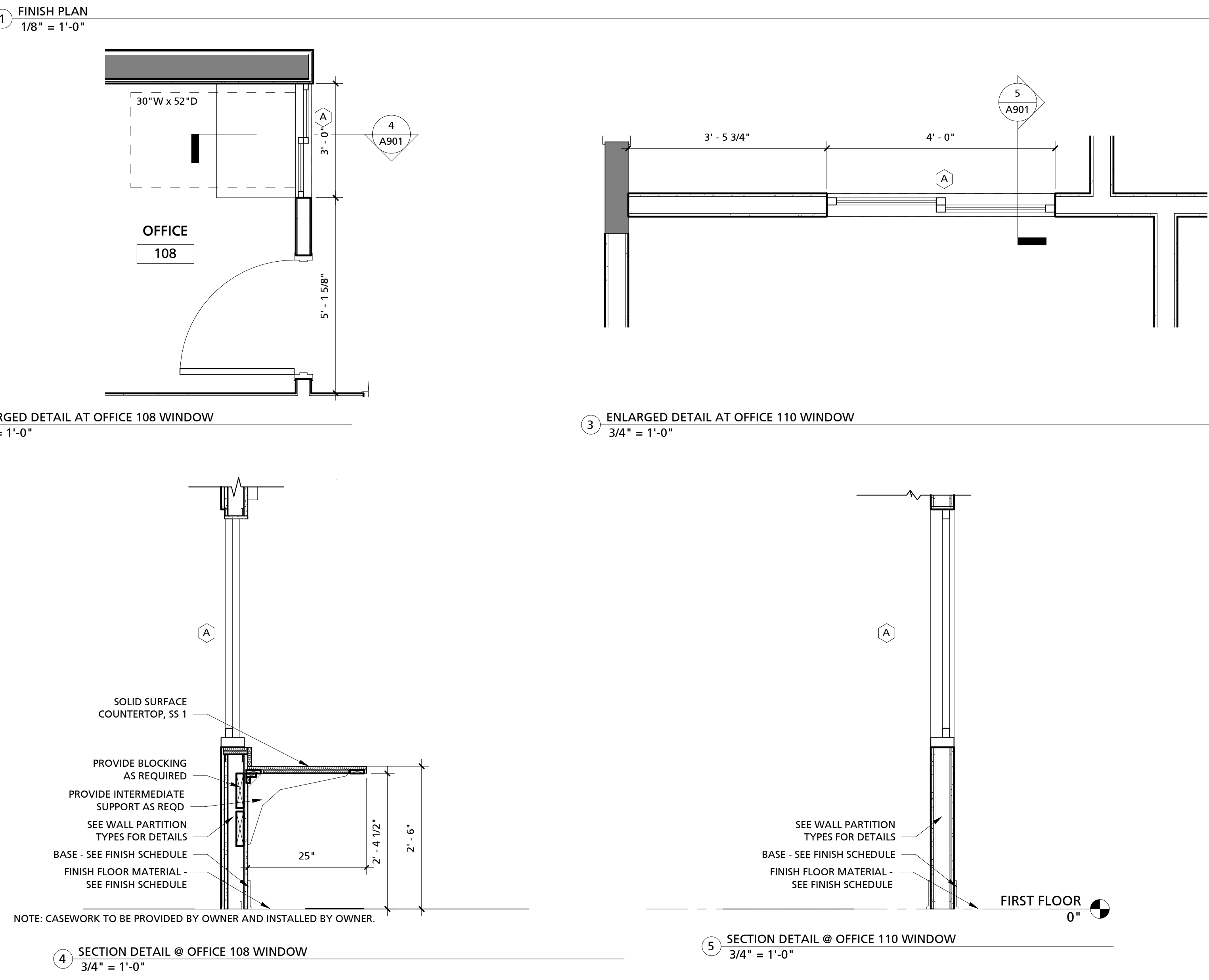
FLOORING:
LVT 1 - LUXURY VINYL TILE
MFR: SHAW FLOORING
COLLECTION: TERRAIN II
STYLE: TERRAIN II 20 MIL 0454V
COLOR: ROOT 00568
SIZE: 6 IN X 48 IN
THICKNESS: 2.5 MM
WEAR LAYER: 20 MIL
WARRANTY: 15 YEAR COMMERCIAL LIMITED WARRANTY
INSTALL: SEE FINISH PLAN FOR DIRECTION
RB 1 - RUBBER COVE BASE
MFR: TARKETT
STYLE: REFLECTION (MW-00-G) WITH 1/2" QUARTER ROUND (QTR-00-A)
COLOR: 00 UNFINISHED
SIZE: 5 1/4" WITH 1/2"
NOTE: TO BE PAINTED TO MATCH EXTG WHITE (P 3)

PAINT:
P 1 - (GENERAL WALL PAINT COLOR)
MFR: ROSE TALBERT
COLOR: 0196 OVERGROWN
FINISH: EG-SHEL
P 2 - (BASE)
MFR: ROSE TALBERT
COLOR: WHITE
FINISH: SEMI-GLOSS
P 3 - (INTERIOR DOOR FRAMES)
MFR: ROSE TALBERT
COLOR: CHOCOLATE #H0142
FINISH: FLAT
ST 1 - (STAIN AT DOORS)
MFR: ALGOMA, OR EQUAL
FINISH: FACTORY FINISH
TO MATCH EXISTING EXEC SUITE DOORS
BASIS OF DESIGN: MINIWAX EARLY AMERICAN 230 WITH MINIWAX POLYURETHANE CLEAR GLOSS

CEILING:
ACT 1 - ACOUSTICAL CEILING TILE
MFR: ARMSTRONG
STYLE: #933
COLOR: WHITE
SIZE: 2' X 2'
GRID: 15/16" PRELUDE WHITE
SS 1 - COUNTERTOP SOLID SURFACE
MFR: TBD*
COLOR: TBD*

TOILET PARTITIONS:**
PH 1 - TOILET PARTITIONS**
MFR: COLUMBIA POLYLIFE
STYLE: OVERHEAD BRACED
COLOR: PL-120 SANDSPECKLE
** PREFERRED VENDOR: NATIONAL SPECIALTIES
CONTACT: NATIONAL SPECIALTIES, 825 GARLAND STREET, COLUMBIA, SC 29201 803.256.9686

CASEWORK*:
GRANITE*
STYLE: GRALLO VERONA
THICKNESS: 3 CM
EDGE: EASED
BACKSPLASH 1:*
LOCATION: 4" AT RESTROOMS ONLY
TILE: GRANITE
STYLE: GRALLO VERONA
THICKNESS: 3 CM
EDGE: EASED
CABINETS*
MFR/SPECIES: ECHELON/MAPLE
DOORSTYLE: NORWICH LINEN
HARDWARE: 859-35N
BACKSPLASH 2:*
LOCATION: KITCHEN/BREAK ROOM
TILE: 3 X 6 SUBWAY TILE
COLOR: WHITE
PATTERN: BRICK
GROUT: WHITE
TRIM: RONDEL PRO100
NOTE: COORDINATE LOCATIONS WITH OWNER



*PROVIDED BY CAPITAL KITCHEN AND BATH, INSTALLED BY CONTRACTOR UNLESS DIRECTED OTHERWISE
CONTACT: CAPITAL KITCHEN AND BATH, 1801 GERVAIS STREET, COLUMBIA, SC 29201 803.254.5889

GENERAL INTERIOR FINISH NOTES

- FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.
- FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY.
- ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL MEET THE FOLLOWING REQUIREMENTS FOR NONSPRINKLERED BUILDING PER 2018 IBC EDITION WITH SOUTH CAROLINA MODIFICATIONS, TABLE 803.13, UNLESS NOTED OTHERWISE: CLASS B FOR INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS, CLASS B FOR CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS, AND CLASS E FOR ROOMS AND ENCLOSED SPACES. INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL APIC TO BE INSTALLED PER SEISMIC REQUIREMENTS.
- PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED.
- GENERAL CONTRACTOR TO COORDINATE ACOUSTICAL CEILING INSTALLATION WITH MILLWORK PROFILES.
- ALL PRODUCTS SELECTED ARE FOR BASIS OF DESIGN PURPOSES AND EQUAL PRICING EXERCISE. PLEASE ENSURE ANY SUBSTITUTIONS/ALTERNATES ARE REVIEWED WITH OWNER PRIOR TO INSTALLATION.

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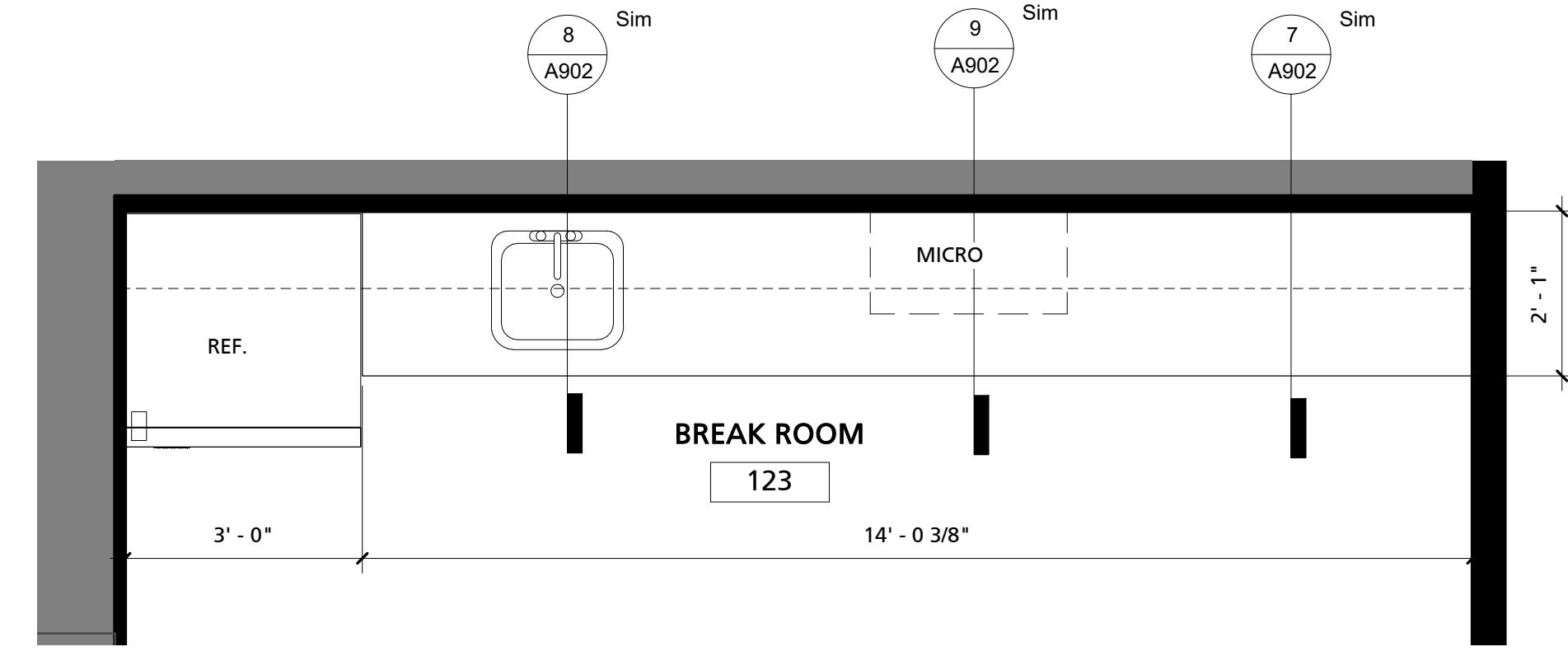
RELEASER FOR PLAN REVIEW AND BIDDING - MAY 4, 2021

COLUMBIA HOUSING AUTHORITY
COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

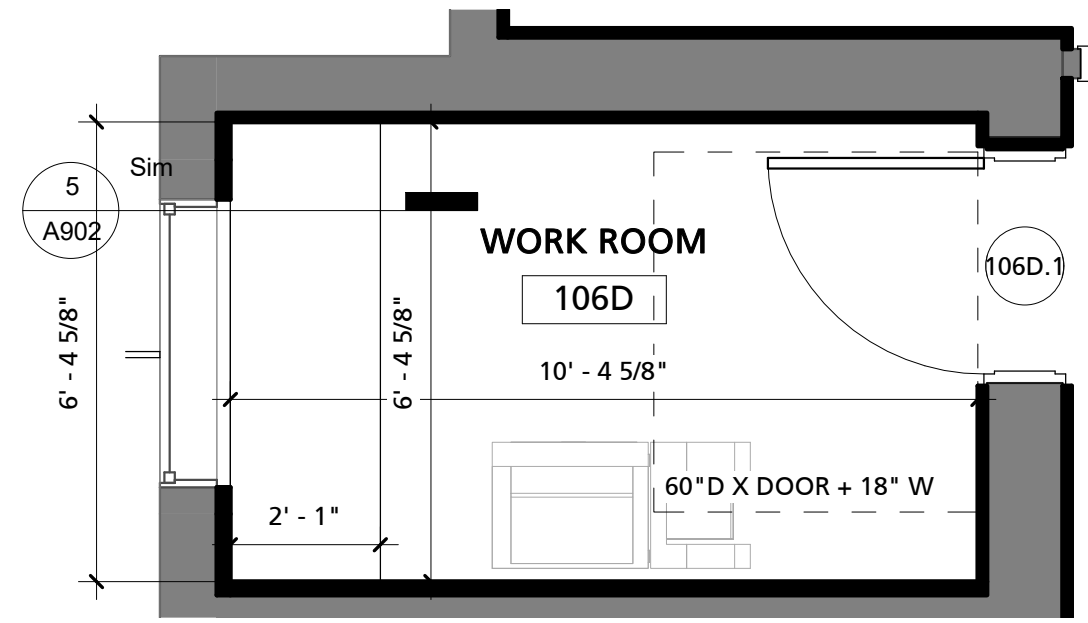
REVISIONS		
No.	Description	Date

PROJECT NUMBER: C-19-066-2
SHEET NUMBER: A901
SHEET NAME: FINISH SCHEDULE/MILLWORK
DATE: 05/04/2021 5:52:02 PM

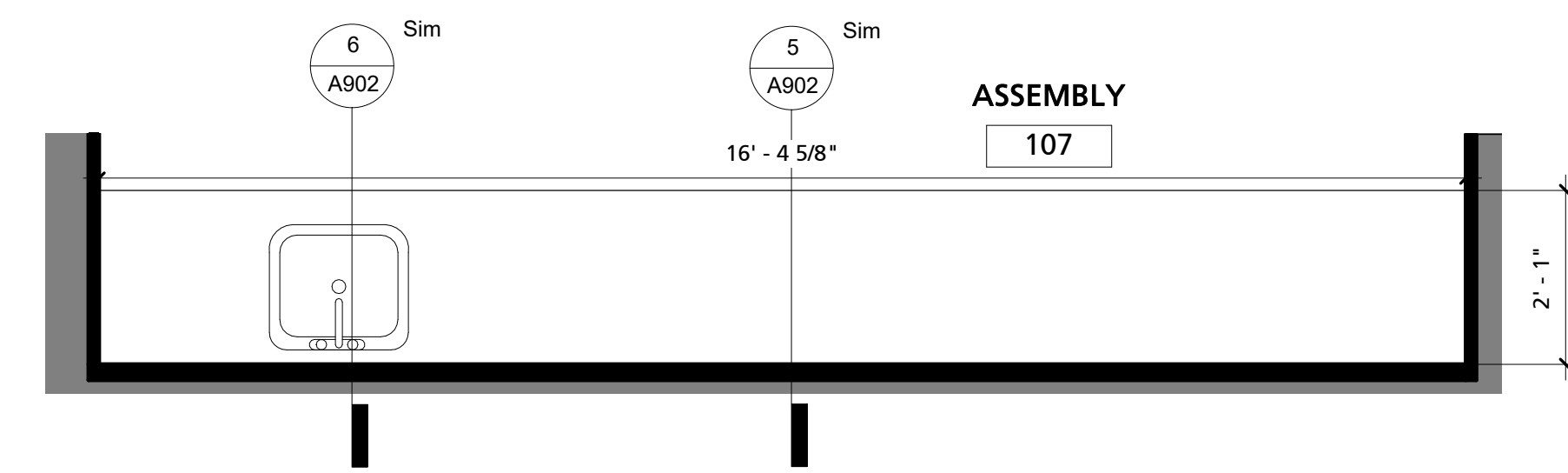
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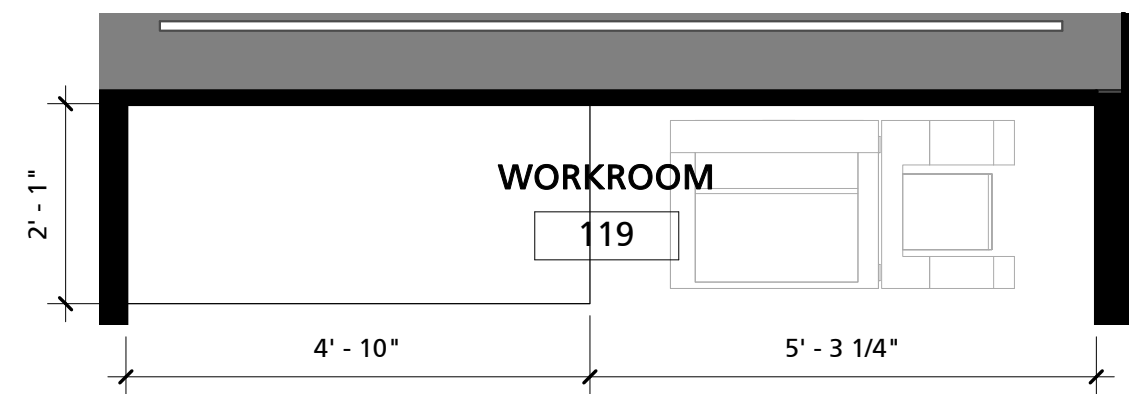
1 ENLARGED FLOOR PLAN AT BREAK ROOM
1/2" = 1'-0"



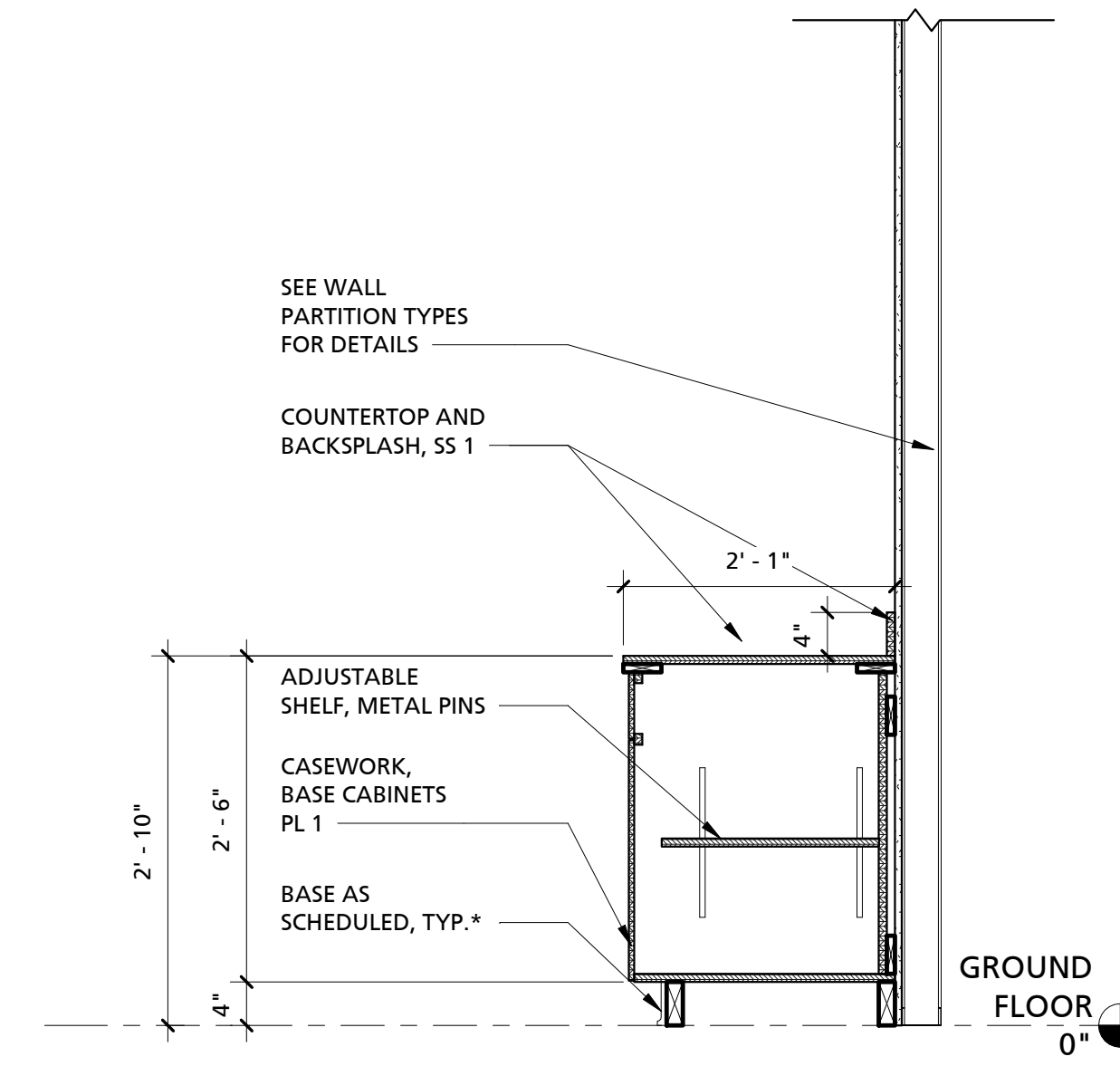
2 ENLARGED FLOOR PLAN AT WORKROOM
106D
3/8" = 1'-0"



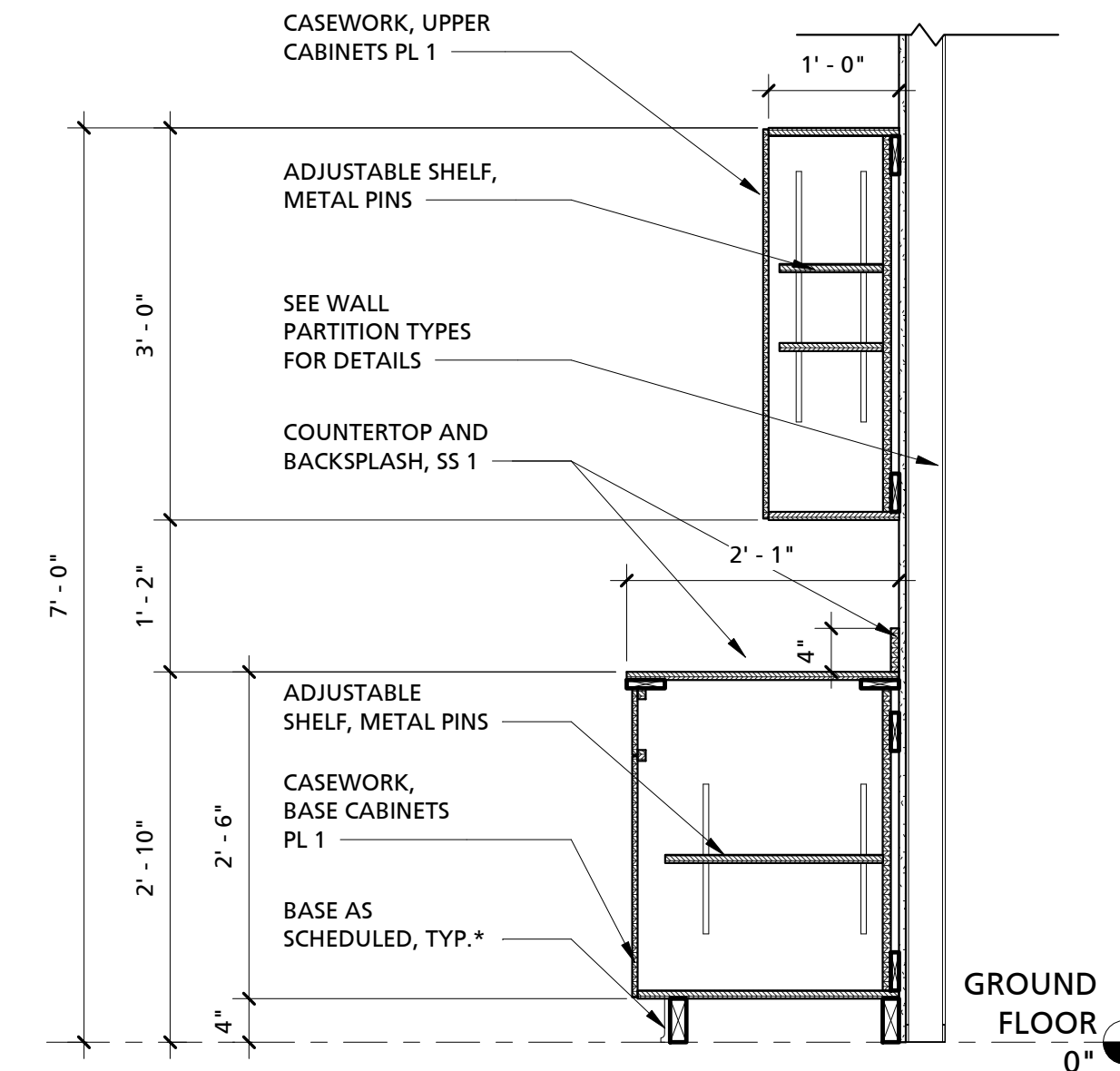
3 ENLARGED FLOOR PLAN AT SERVICE SINK
1/2" = 1'-0"



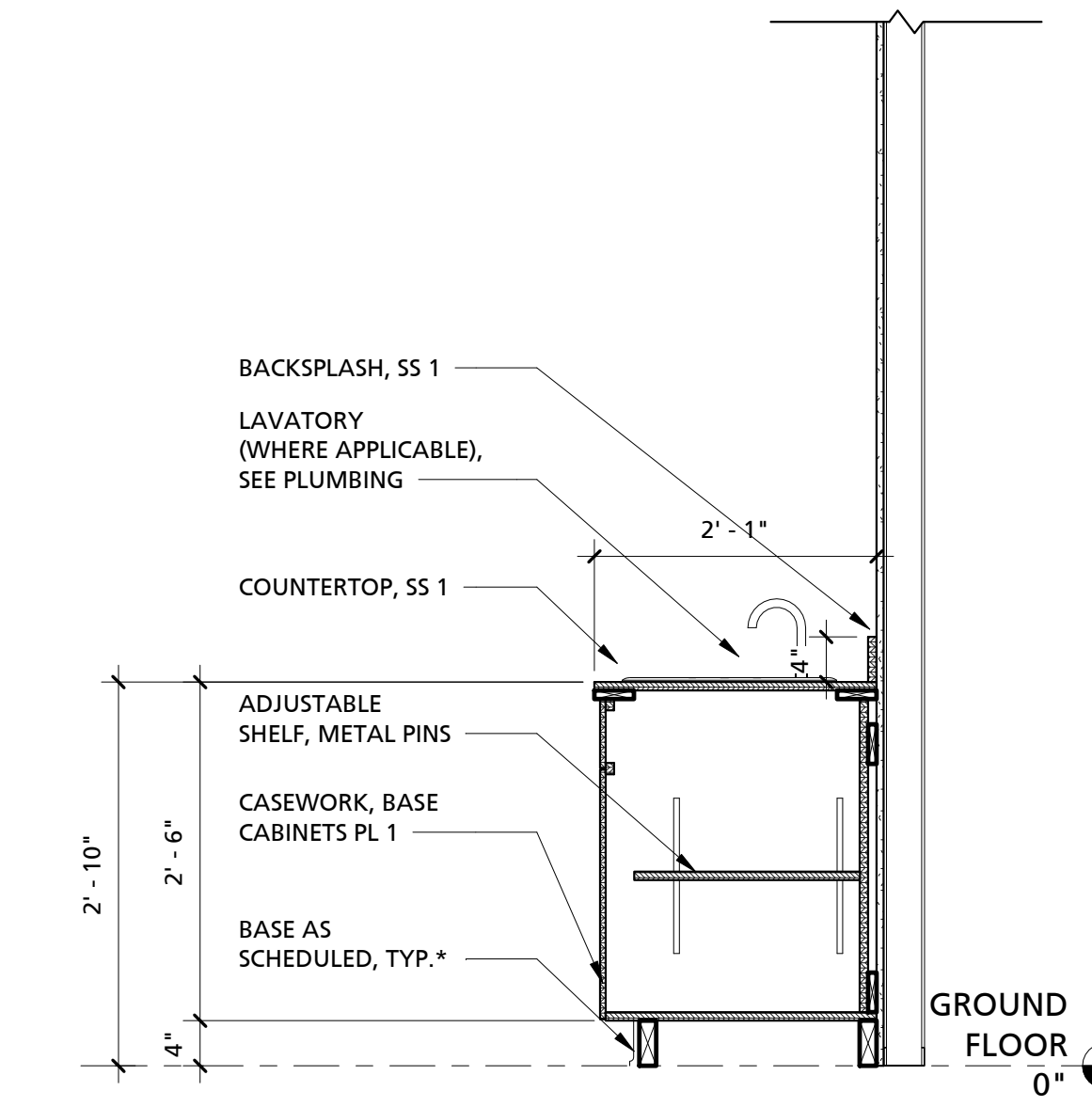
4 ENLARGED FLOOR PLAN AT WORK ROOM 115
1/2" = 1'-0"



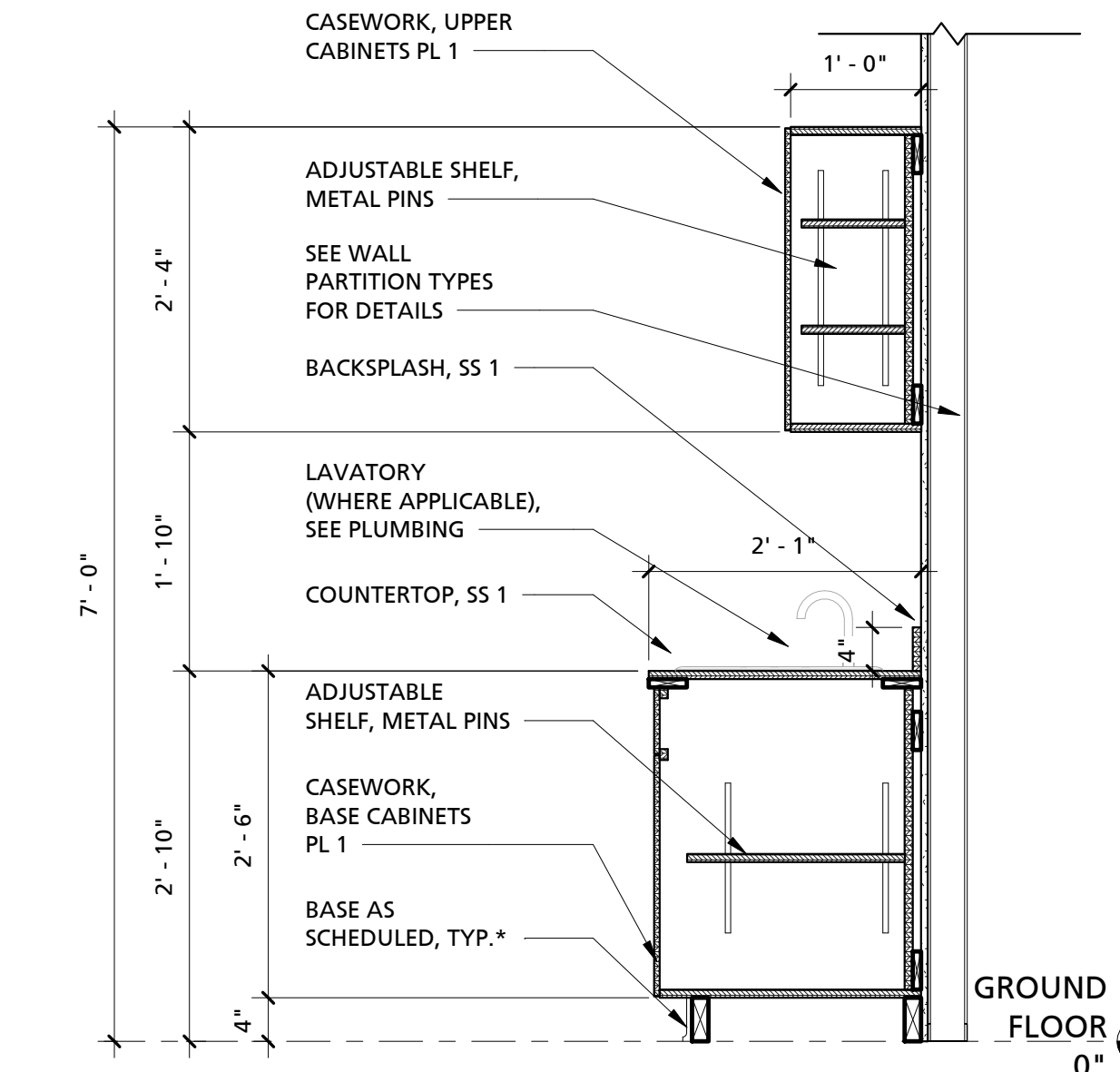
5 STANDARD CASEWORK SECTION DETAIL 06
3/4" = 1'-0"



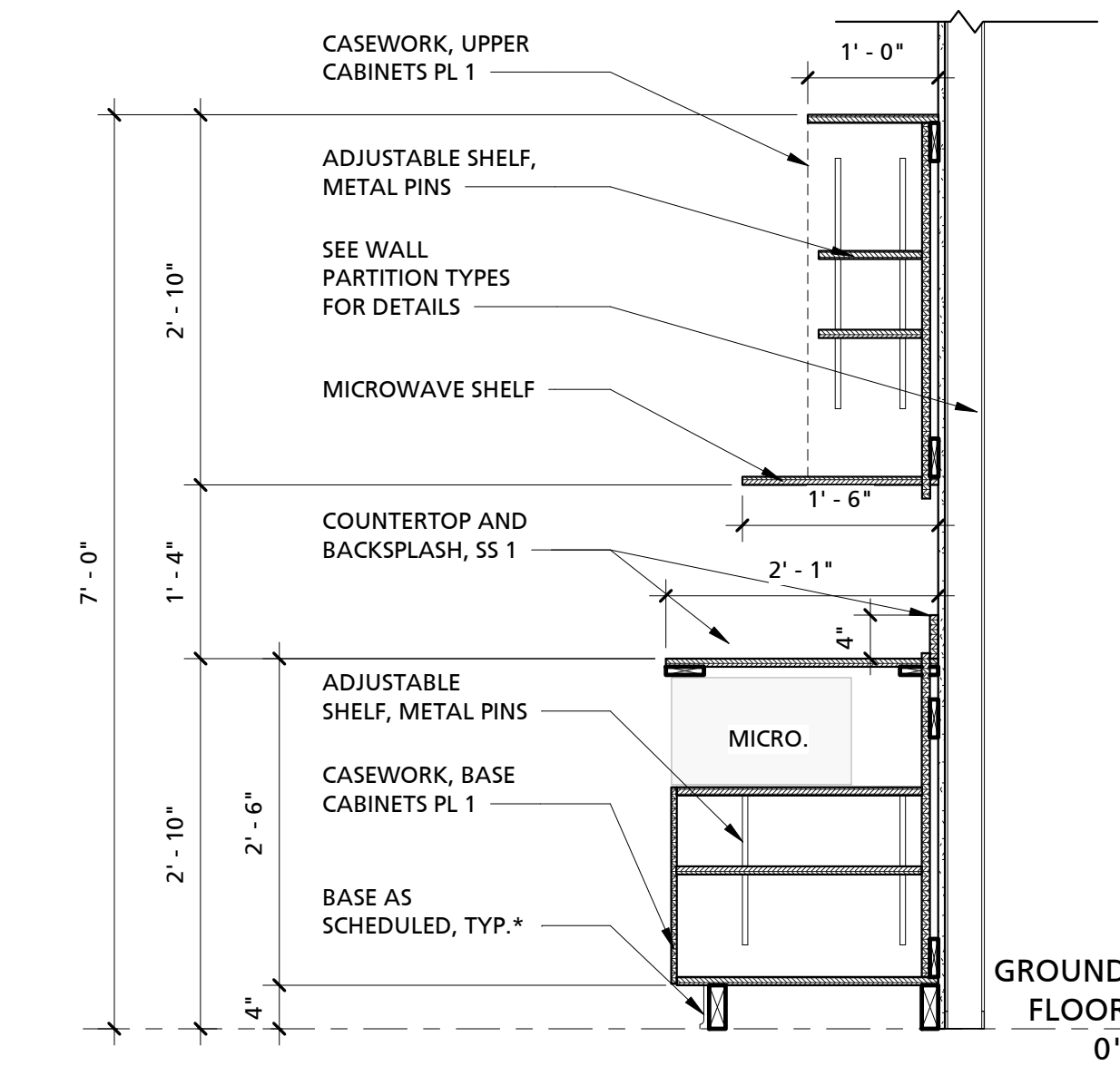
7 STANDARD CASEWORK SECTION DETAIL 01
3/4" = 1'-0"



6 STANDARD CASEWORK SECTION DETAIL 03
3/4" = 1'-0"



8 STANDARD CASEWORK SECTION DETAIL 02
3/4" = 1'-0"



NOTE: DEPTH OF MICROWAVE SHELF TO BE COORDINATED WITH OWNER SELECTED MICROWAVE

9 STANDARD CASEWORK SECTION DETAIL 05
3/4" = 1'-0"

GENERAL INTERIOR FINISH NOTES

- 1. FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.
- 2. FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY.
- 3. ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL MEET THE FOLLOWING REQUIREMENTS FOR NONSPRINKLERED BUILDING PER 2018 IBC EDITION WITH SOUTH CAROLINA MODIFICATIONS, TABLE 803.13, UNLESS NOTED OTHERWISE: CLASS B FOR INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS, CLASS B FOR CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS, AND CLASS C FOR ROOMS AND ENCLOSED SPACES. INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- 5. ALL APIC TO BE INSTALLED PER SEISMIC REQUIREMENTS.
- 6. PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED.
- 7. GENERAL CONTRACTOR TO COORDINATE ACOUSTICAL CEILING INSTALLATION WITH MILLWORK PROFILES.
- 8. ALL PRODUCTS SELECTED ARE FOR BASIS OF DESIGN PURPOSES AND EQUAL PRICING EXERCISE. PLEASE ENSURE ANY SUBSTITUTIONS/ALTERNATES ARE REVIEWED WITH OWNER PRIOR TO INSTALLATION.

GENERAL HARDWARE NOTES

- 1. HARDWARE TO BE PROVIDED BY OWNER AND INSTALLED BY OWNER.

GENERAL CASEWORK NOTES

- 1. CASEWORK TO BE PROVIDED BY OWNER AND INSTALLED BY OWNER.
- 2. GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING FOR CASEWORK INSTALLATION. GC TO COORDINATE CASEWORK SIZING AND LOCATIONS WITH OWNER.
- 3. AT LOCATIONS WHERE SINK IS PROVIDED AND 34" CASEWORK IS INDICATED, CRITICAL DIMENSION IS TO BE 34" TO COUNTER O.B LIP OF COUNTER-MOUNTED SINK, WHICHEVER IS HIGHER.



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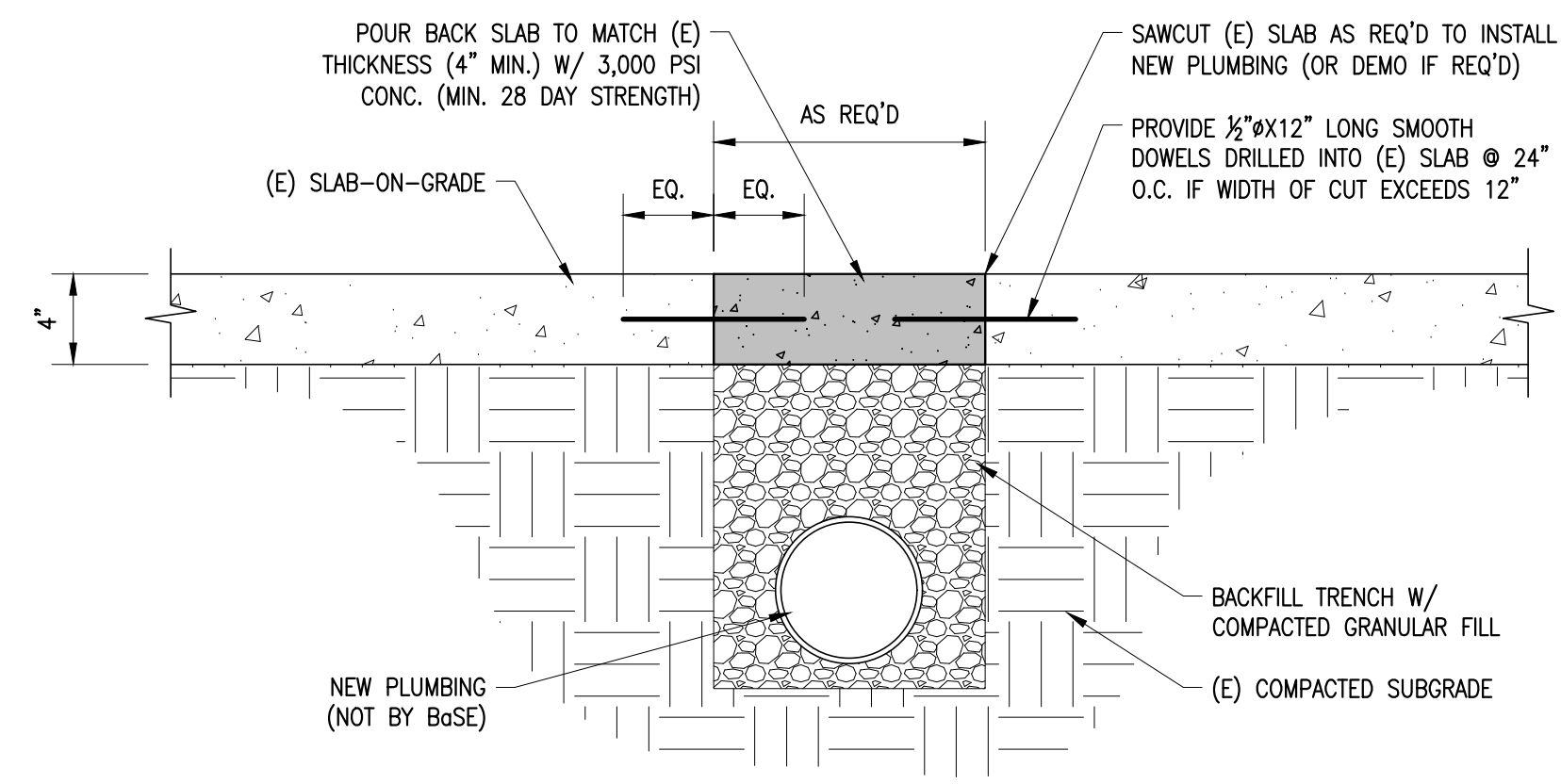
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2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

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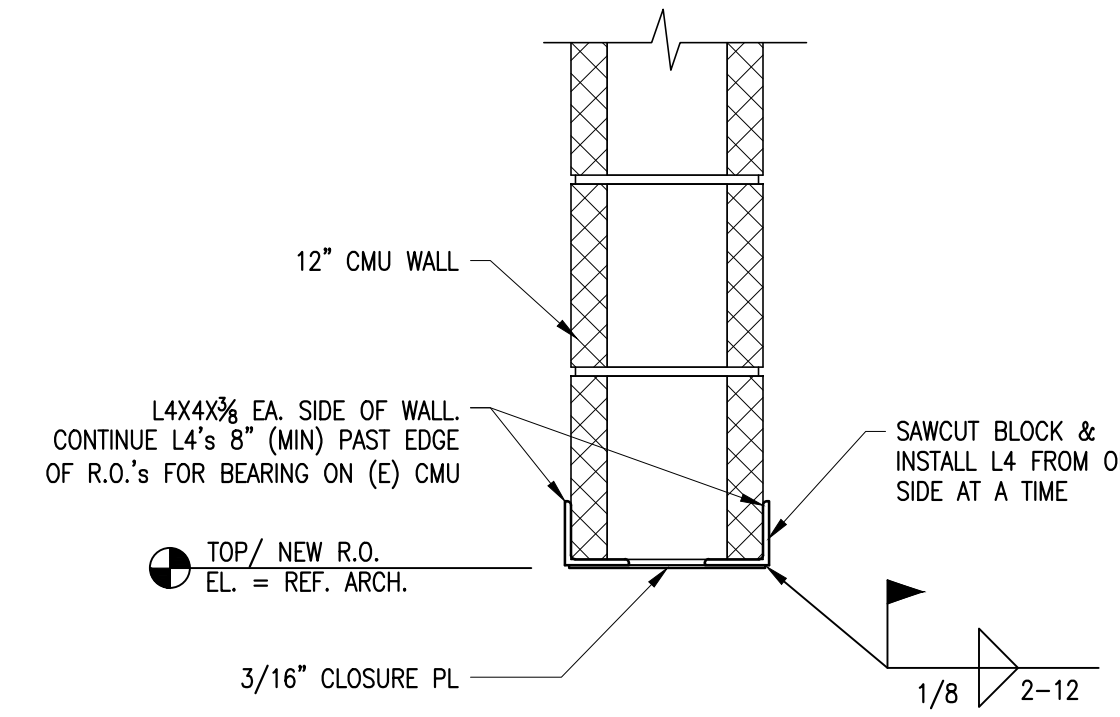
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PROJECT NAME	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION		
PROJECT ADDRESS	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204		

REVISIONS		
No.	Description	Date

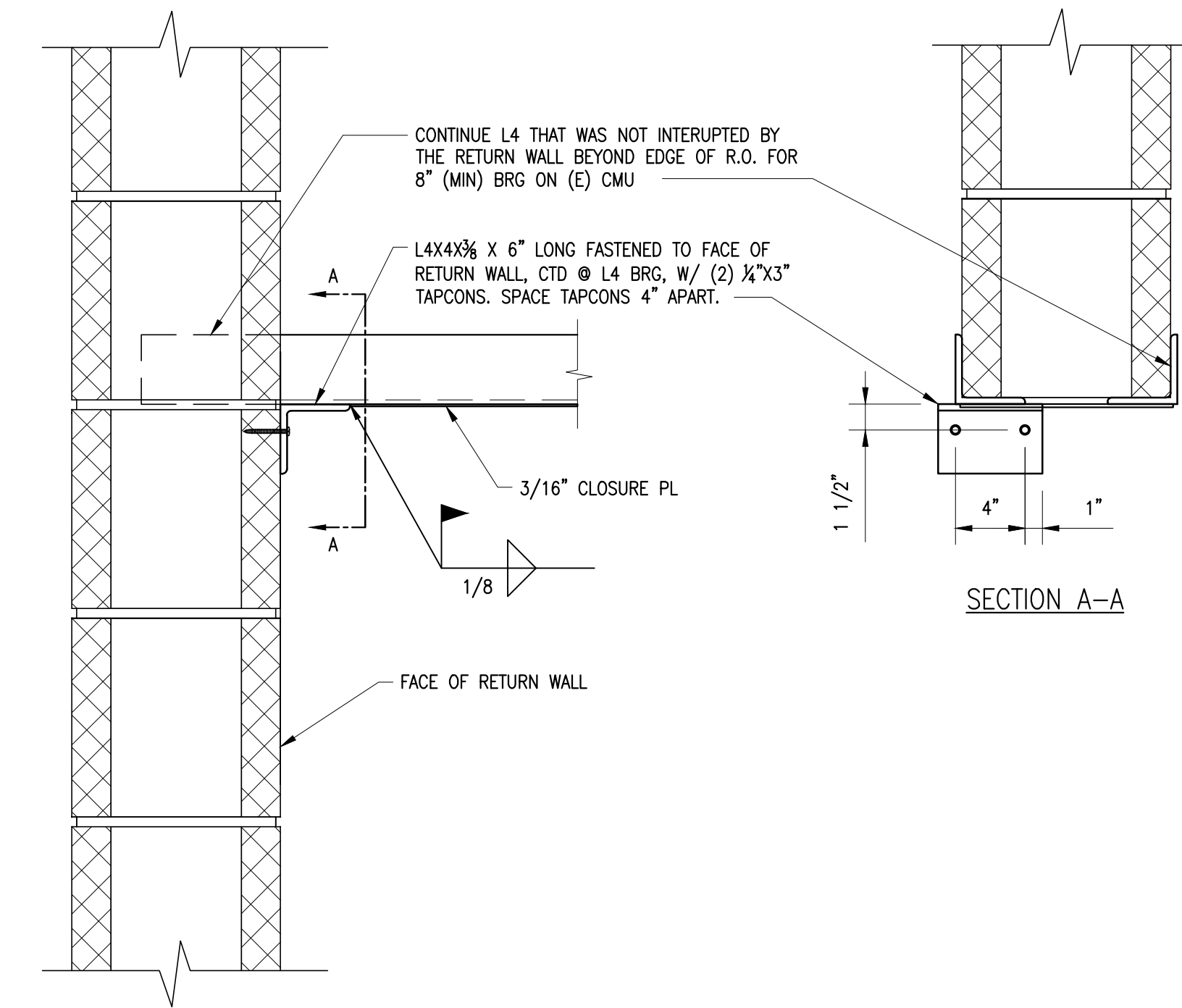
PROJECT NUMBER	C-19-066-2
SHEET NUMBER	A902
SHEET NAME	MILLWORK
DATE	05/04/2021



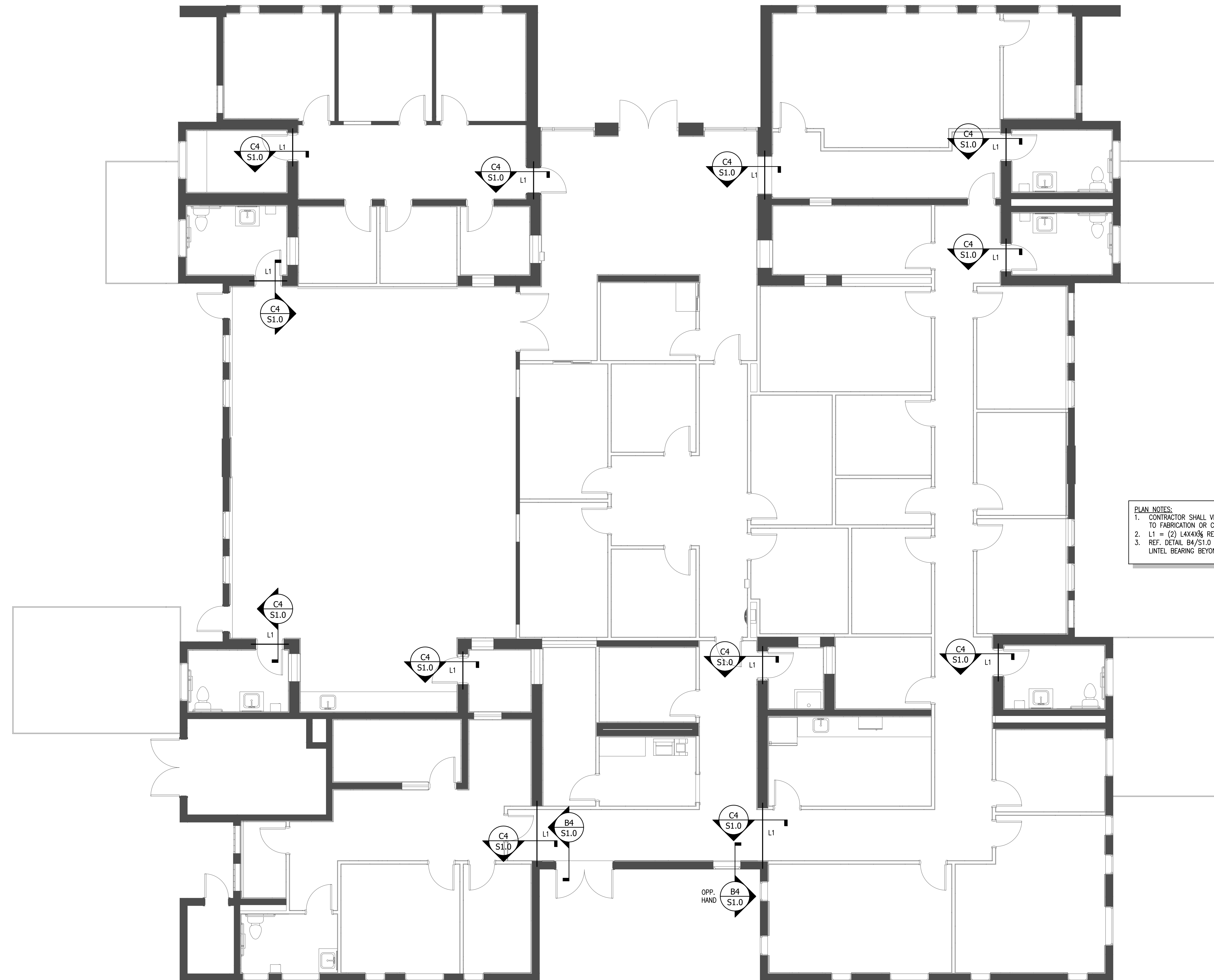
C1
S1.0
1/12"x1'-0"



C4
S1.0
1'-11/2"



B4
S1.0
3/4"x1'-0"



A1
S1.0
3/16"x1'-0"

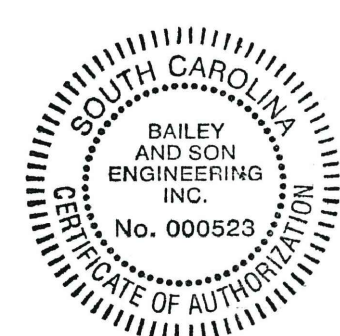
A4
S1.0

- GENERAL NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING ALL WORK DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA REGULATIONS ON THE PROJECT SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS SHOWN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION AND CONSTRUCTION.
 - THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR OR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR TO PERFORM THE CONSTRUCTION WORK IN ACCORDANCE WITH DRAWINGS. THE COST OF ANY TESTS OR WORK REQUIRED BECAUSE OF CONTRACTOR'S FAILURE TO PERFORM IN ACCORDANCE WITH THE DRAWINGS SHALL BE BORNE BY THE CONTRACTOR.
 - CONTRACTOR SHALL REFER TO OTHER DISCIPLINE'S DRAWINGS AND VISIT SITE TO OBSERVE (E) CONSTRUCTION AND AS-BUILT CONDITIONS. SURVEY PROJECT SITE TO LOCATE UNDERGROUND ITEMS & UTILITIES. REMOVE / RELOCATE EXISTING ITEMS IF REQUIRED FOR NEW CONSTRUCTION. COORDINATE ANY DISRUPTION OF SERVICES WITH OWNER.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL TO COORDINATE ALL DIMENSIONS AND ELEVATIONS RELATED TO WORK SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH THE FABRICATOR. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - ALL MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, CURRENT EDITION.
 - REFERENCE TO STANDARD SPECIFICATIONS OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION, OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE LATEST STANDARD, CODE, SPECIFICATION, UNLESS SPECIFICALLY STATED OTHERWISE.
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 - THE REHABILITATION OF AN EXISTING STRUCTURE REQUIRES ASSUMPTIONS TO BE MADE REGARDING EXISTING CONDITIONS. THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT ADDITIONAL COST OR WITHOUT DESTROYING OTHERWISE SEPARABLE PORTIONS OF THE STRUCTURE. THE ENGINEER SHALL NOT BE LIABLE FOR ANY COST ARISING FROM THE DISCOVERY OF UNKNOWN CONDITIONS IN THE EXISTING STRUCTURE.

- STRUCTURAL STEEL NOTES:**
- DESIGN, FABRICATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION, FIFTEENTH EDITION, UNLESS NOTED OTHERWISE.
 - MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS:
 ANGLES AND PLATES.....ASTM A36
 WELDING ELECTRODES.....AWS-A5.1, E70XX LOW HYDROGEN (OR EQUAL)
 STEEL NOT PREVIOUSLY NOTED.....ASTM A36 (OR BETTER)
 - ALL STRUCTURAL WELDING SHALL BE MADE BY A CERTIFIED WELDER IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS SPECIFICATIONS D1.1. MINIMUM SIZE OF FILLET WELD SHALL BE 1/16" SMALLER THAN MATERIAL THICKNESS OF THICKER PART JOINED, UNLESS NOTED OTHERWISE.
 - ELECTRODE STORAGE FOR LOW-HYDROGEN ELECTRODES SHALL BE STORED @ 250' WHEN EXPOSURE EXCEEDS REQUIREMENTS OF COLUMN A, TABLE 51 OF AWS. WELD CLEANING AND PAINTING OF COMPLETED WELDS SHALL BE IN ACCORDANCE WITH AWS.
 - ALL BOLTED CONNECTIONS SHALL BE BEARING-TYPE USING 3/4" DIAMETER AND BROUGHT TO A SNUG TIGHT CONDITION. A325-N BOLTS WITH THREADS INCLUDED IN SHEAR PLANE, UNLESS NOTED OTHERWISE.
 - SHOP CONNECTIONS MAY BE BOLTED OR WELDED.
 - FIELD CONNECTIONS SHALL BE BOLTED UNLESS NOTED OTHERWISE ON DRAWINGS.
 - PRIME STEEL WITH STANDARD SHOP PRIMER AT 2.0 MILS DFT. SHOP PRIMER SHALL BE COMPATIBLE WITH OVERCOAT AS REQUIRED.



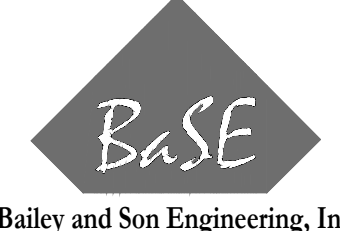
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CLIENT NAME	PROJECT NAME	PROJECT ADDRESS

REVISIONS		
No.	Description	Date
A	Owner Review	03/15/2021
G	PERMIT & BID	04/28/2021

BY: DESIGN PROJECT NUMBER: C-19-005-2	DATE: 2022-02
BY: CHECKED PROJECT NUMBER: 2022-02	
DATE: 04/28/2021	

S1.0

LINTEL PLAN AND DETAILS

DATE: 04/28/2021

DEMOLITION NOTES:

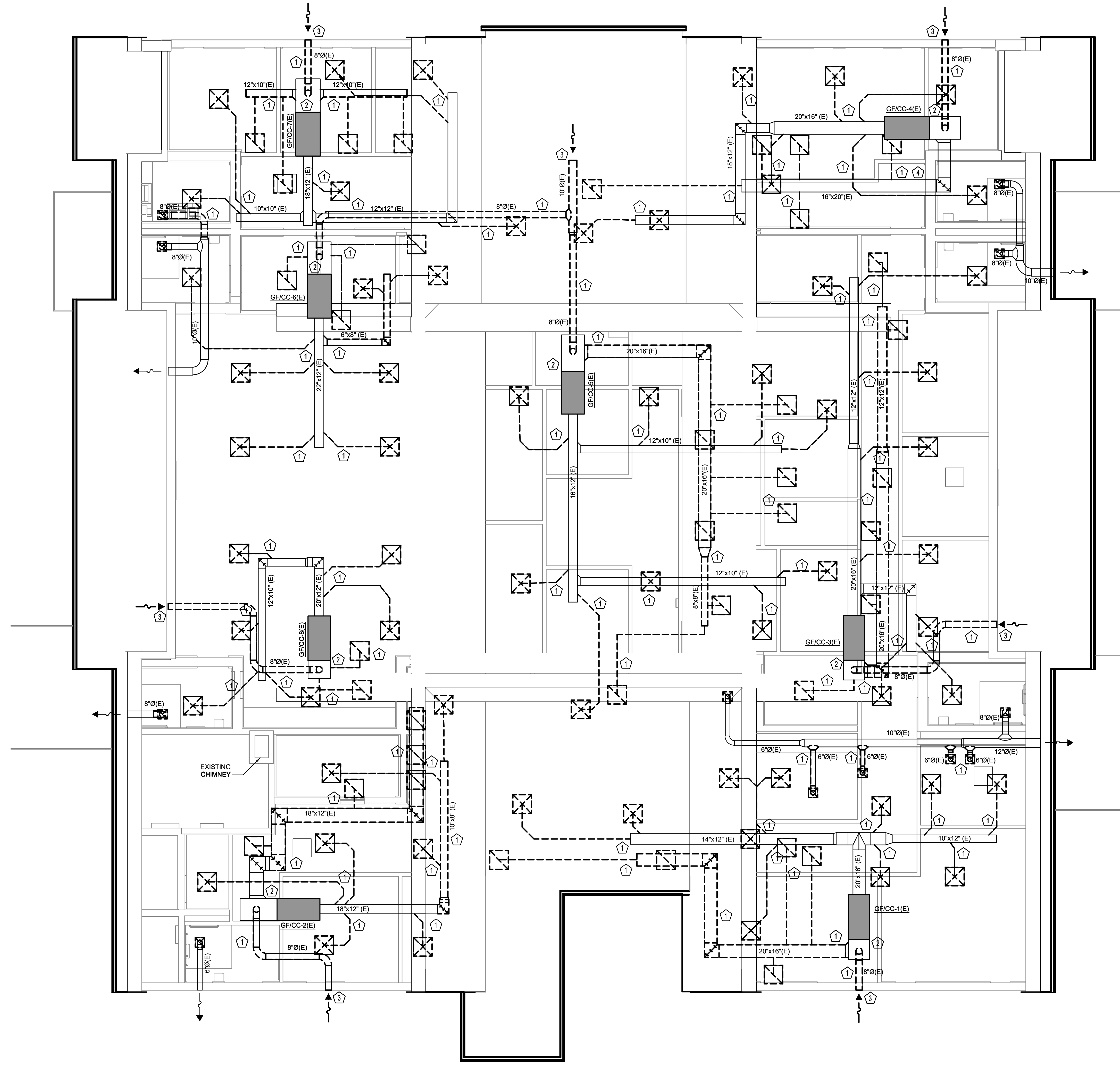
1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
2. REMOVAL OF EXISTING MECHANICAL DUCTWORK OR EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
3. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
4. EXISTING FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
5. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
6. WHERE EXISTING DUCTWORK AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
7. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
8. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
9. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED.

DEMOLITION KEYED NOTES:

1. DISCONNECT AND REMOVE ALL EXISTING FLEXIBLE DUCTS, EXISTING MAIN DUCTS INDICATED, AND ALL ASSOCIATED FITTINGS AND DAMPERS. PATCH AND SEAL MAIN DUCTWORK AS REQUIRED FOR NEW DESIGN.
2. REMOVE OR CAP EXISTING RETURN AIR FILTERS AND BOXES.
3. REMOVE EXISTING INTAKE LOUVERS AND PATCH WALL OPENINGS.
4. RELOCATE DUCT AS REQUIRED FOR NEW ATTIC ACCESS. SEE ARCHITECTURAL PLANS.

DEMOLITION LEGEND:

----- TO BE REMOVED



MECHANICAL - DEMOLITION ATTIC PLAN

SCALE: 3/16" = 1'-0"

Drawing File: M1_20210504203052.02 - CHA Walker Solomon DWG 20210502.02 - M1.02 Mechanical Demolition Attic Plan.dwg --- Plotted Date: May 03, 2021, 1:15pm

RELEASE FOR BIDDING - MAY 4, 2021

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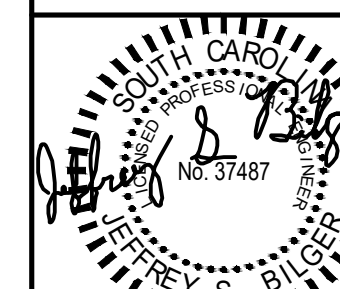
CLIENT NAME:
PROJECT NAME:
PROJECT NUMBER:

REVISONS	No.	Description	Date
	1	Issue for Bid	05-04-2021

PROJECT NUMBER: C-19-0992	PROJECT NAME: 29002.02
M1.02	MECHANICAL DEMOLITION ATTIC PLAN
DATE: 05/04/2021	



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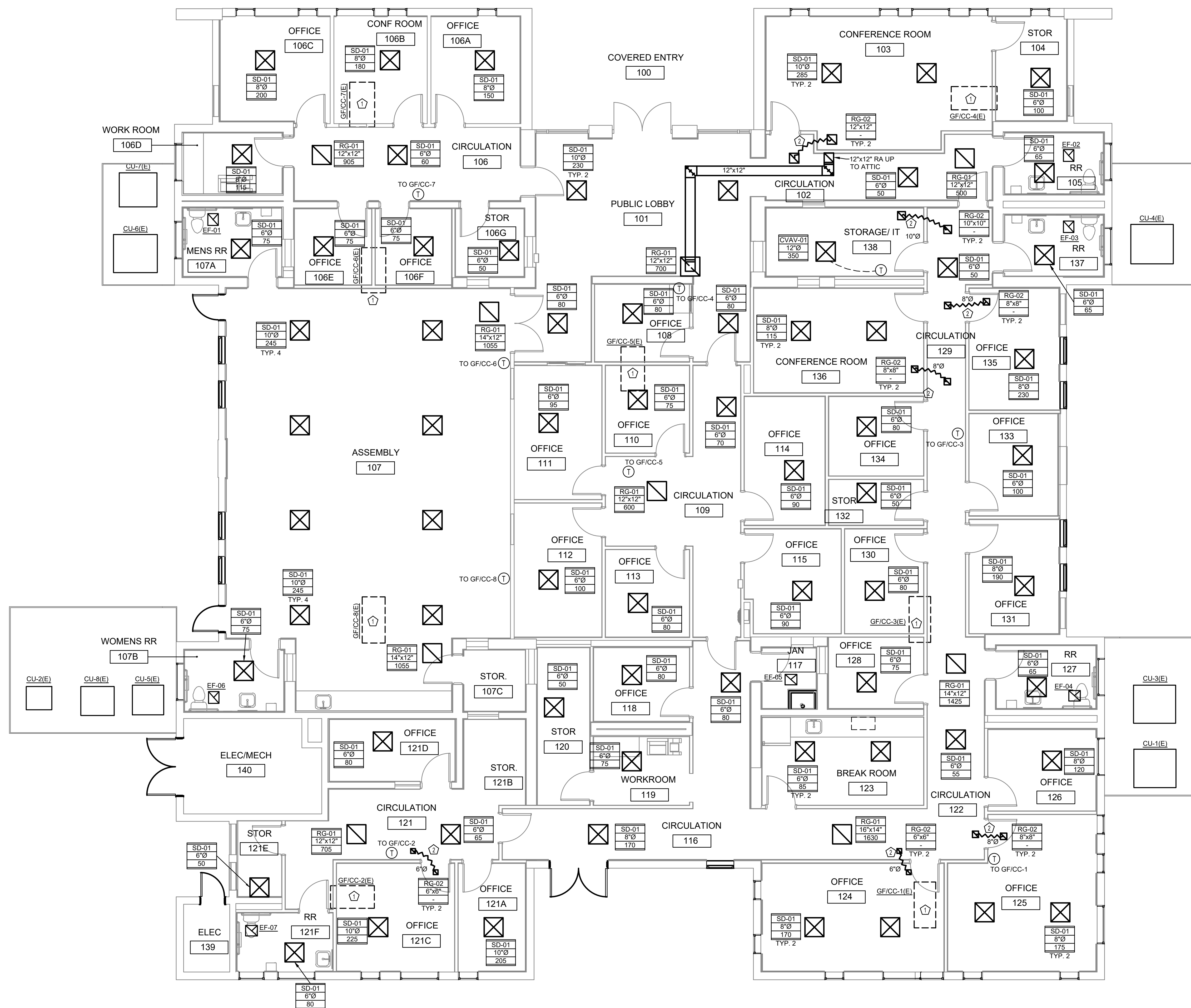
- VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
- REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS ARISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
- COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
- COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON MECHANICAL COVER SHEET FOR FURTHER INFORMATION.

KEYED NOTES:

- AIR HANDLING UNIT INSTALLED IN ATTIC. SHOWN ON DRAWING FOR REFERENCE.
- INSTALL ALL FLEX TRANSFER DUCTS IN CEILING SPACE BELOW ATTIC MEZZANINE.

MECHANICAL NOTES:

- UNDERCUT ALL INTERIOR DOORS BY 3/4" IN ORDER TO PROVIDE AN ADEQUATE RETURN AIR PATHWAY.



MECHANICAL - FLOOR PLAN

SCALE: 3/16" = 1'-0"

Drawing File: M1-20200000200022.02 -CHA, Walker, Solomon\Drawings\202005.02 - M1.03 Mechanical Floor Plan.dwg --- Plotted By: Jblgbr --- Plotted Date: May 03, 2021 - 1:55pm

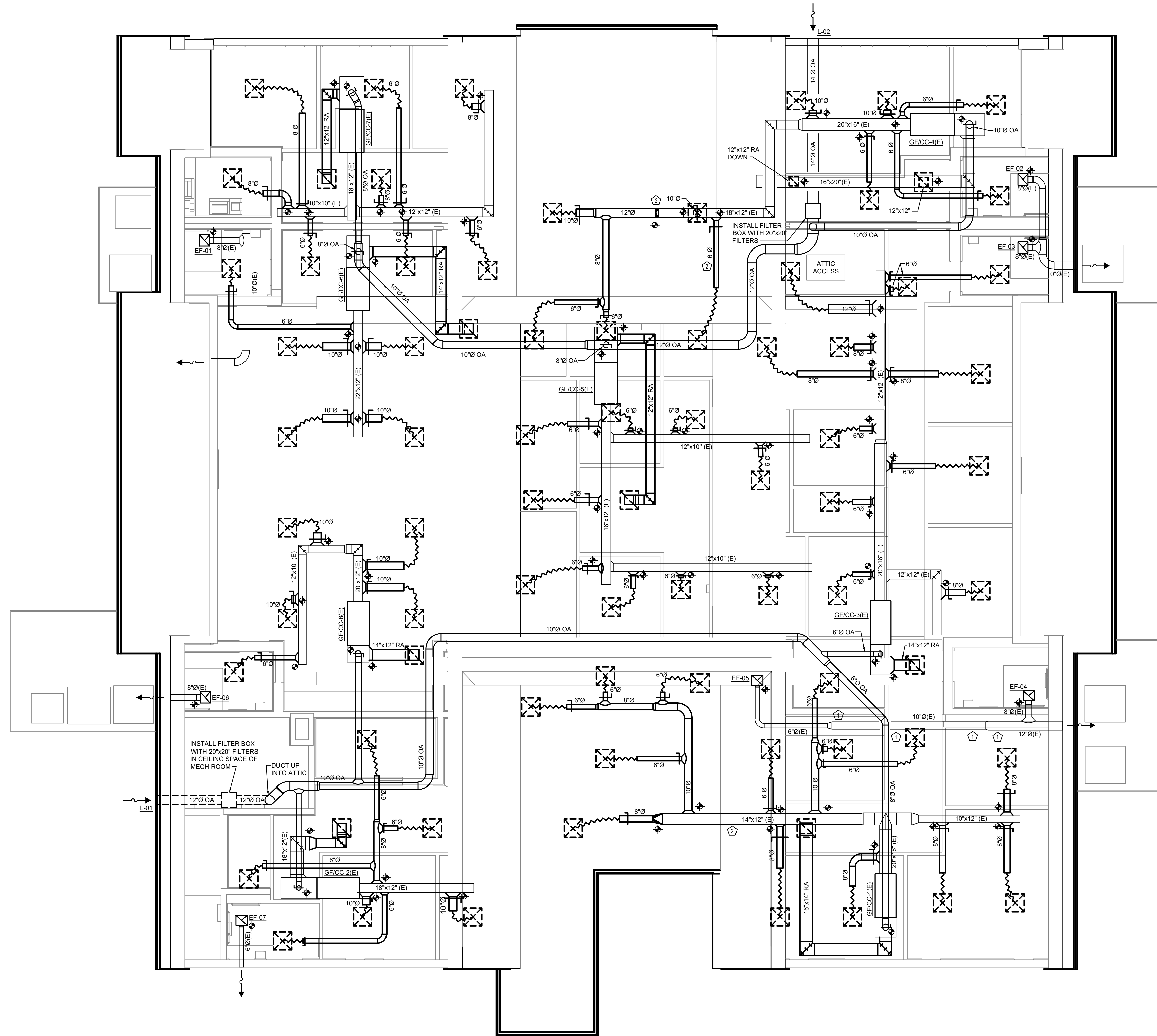
RELEASE FOR BIDDING - MAY 4, 2021

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COLUMBIA HOUSING AUTHORITY
PROJECT NAME
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PROJECT ADDRESS
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REVISIONS		
No.	Description	Date
1	Issue for Bid	05-04-2021

H2L PROJECT NUMBER: C-18-0002
SHEET NUMBER: 2000.02
M1.03
MECHANICAL FLOOR PLAN
DATE: 05/04/2021

Drawing File: M1-202000020002.02 - CHA Walker Solomon\Drawings\2020\02 - M1.04 Mechanical Attic Plan.dwg --- Plotted by: jblgier --- Plotted Date: May 03, 2021, 1:15pm



MECHANICAL - ATTIC PLAN

SCALE: 3/16" = 1'-0"



GENERAL NOTES:

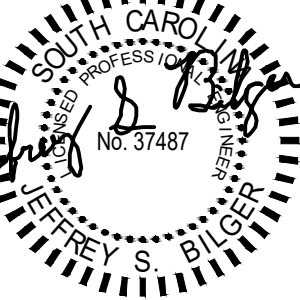
1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
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4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
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10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
11. DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRAIN PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE HARD CEILINGS AND IN MASONRY CHASES. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON MECHANICAL COVER SHEET FOR FURTHER INFORMATION.

KEYED NOTES:

1. SEAL OPENINGS IN EXISTING DUCTWORK REMAINING FROM DEMOLITION
2. LOW ROOF IN THIS AREA OF ATTIC PLAN. DUCTWORK DRAWN WAS BASED ON THE DUCT SIZES SHOWN ON EXISTING PLANS. IF DUCTWORK DOES NOT COMFORTABLY FIT IN ATTIC SPACE, PENETRATE ATTIC MEZZANINE AND RUN DUCT IN CEILING SPACE.



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COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION
2133 WALKER S. OLMON WAY, COLUMBIA, SOUTH CAROLINA 29204

CUSTOMER NAME
PROJECT NAME
PROJECT NUMBER

REVISIONS

No.	Description	Date
1	Issue for Bid	05-04-2021

H2L PROJECT NUMBER: C-19-0002
H2L DRAWING NUMBER: 2000-02
H2L SHEET NUMBER:

M1.04

H2L SHEET NAME:
MECHANICAL ATTIC PLAN

H2L SHEET DATE:
05/04/2021

RELEASE FOR BIDDING - MAY 4, 2021

GENERAL NOTES:

- VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
- REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS ARISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH OTHER TRADES TO FURNISH AND INSTALL WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
- COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
- COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

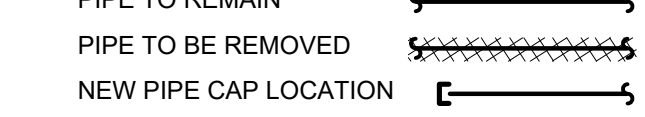
DEMOLITION NOTES:

- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
- REMOVAL OF EXISTING FIXTURES AND EQUIPMENT WILL REQUIRE ISOLATING THE PIPING RISERS OR MAINS VIA SHUT-OFF VALVES. INSTALL NEW ISOLATION VALVES WHERE REQUIRED FOR COMPLETION OF WORK.
- REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- ALL DRAINED PIPING RISERS AND MAINS SHALL BE REFILLED WITH PROPER FLUID AND PROPERLY VENTED BY THIS CONTRACTOR, ONCE NEW WORK HAS BEEN INSTALLED.
- COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
- EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE EQUIPMENT AND PIPE, ETC., ARE REMOVED AND NOT REPLACED. SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS WHERE USE IS TO BE DISCONTINUED.
- EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
- PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODELED BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
- ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.

DEMOLITION PLAN NOTES:

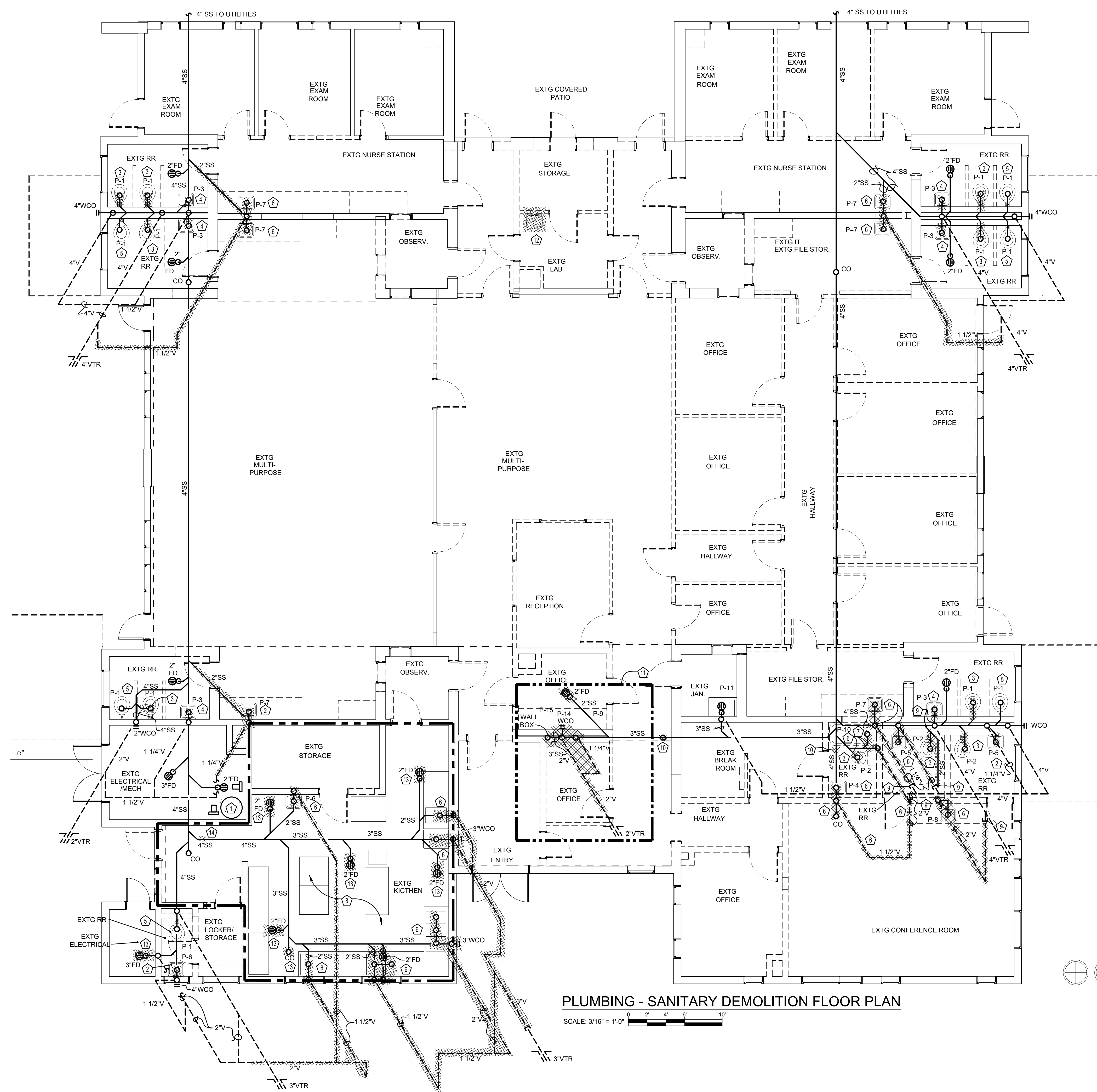
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- REMOVE SINK AND ASSOCIATED PIPING TO A POINT BEHIND WALL AND CAP. COORDINATE WALL REPAIR WITH OTHER TRADES.
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- REMOVE SINK AND ASSOCIATED PIPING TO POINT INDICATED ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- REMOVE TUB AND ASSOCIATED PIPING TO POINT INDICATED ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- REMOVE ALL KITCHEN PLUMBING FIXTURES, PIPING, ACCESSORIES, FLOOR DRAINS AND FLOOR SINKS. TO A POINT ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- FURNISH AND INSTALL CAP AT POINT INDICATED.
- REMOVE SLAB AND SECTION OF PIPING FOR INSTALLATION OF NEW CLEANOUT. CAP ABANDONED PIPING BELOW SLAB. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- PLUMBING SHOWN IN THIS AREA WAS TO BE REMOVED IN A PREVIOUS RENOVATION. CONTRACTOR SHALL EXAMINE SPACE AND REMOVE ANY PIPING WITH THE EXCEPTION OF THE VTR. VTR TO BE CAPPED BELOW ROOF. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- SINK INSTALLED IN THIS LOCATION HAS NO RECORD DATA TO INDICATE PIPING, OR TIE-IN LOCATIONS. CONTRACTOR SHALL REMOVE ALL PIPING TO A POINT INDICATED ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. VTR IF INSTALLED TO REMAIN AND BE CAPPED BELOW ROOF.
- REMOVE FLOOR DRAIN OR CLEANOUT TO A POINT BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- CUT SLAB AS REQUIRED IN AREA INDICATED. REMOVE A SECTION OF PIPE AND INSTALL CAPS ON EACH PIPE END. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.

DEMOLITION LEGEND:



ORIGINAL PLUMBING FIXTURE SCHEDULE	
P-1 WATER CLOSET (JUNIOR)	P-9 LAUNDRY SINK
P-2 WATER CLOSET	P-10 BATH WITH HAND SPRAY
P-3 LAVATORY	P-11 JANITOR FLOOR SINK
P-4 LAVATORY (COUNTER TOP)	P-12 CAN WASH FAUCET
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P-7 SINK (WITH BUBBLER)	P-15 DRYER
P-8 SINK (WORK)	

NOTE:
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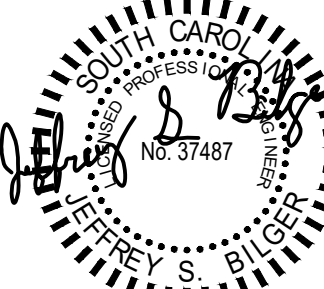
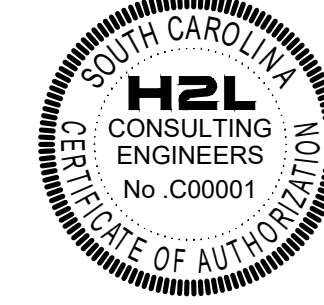


PLUMBING - SANITARY DEMOLITION FLOOR PLAN

SCALE: 3/16" = 1'-0"



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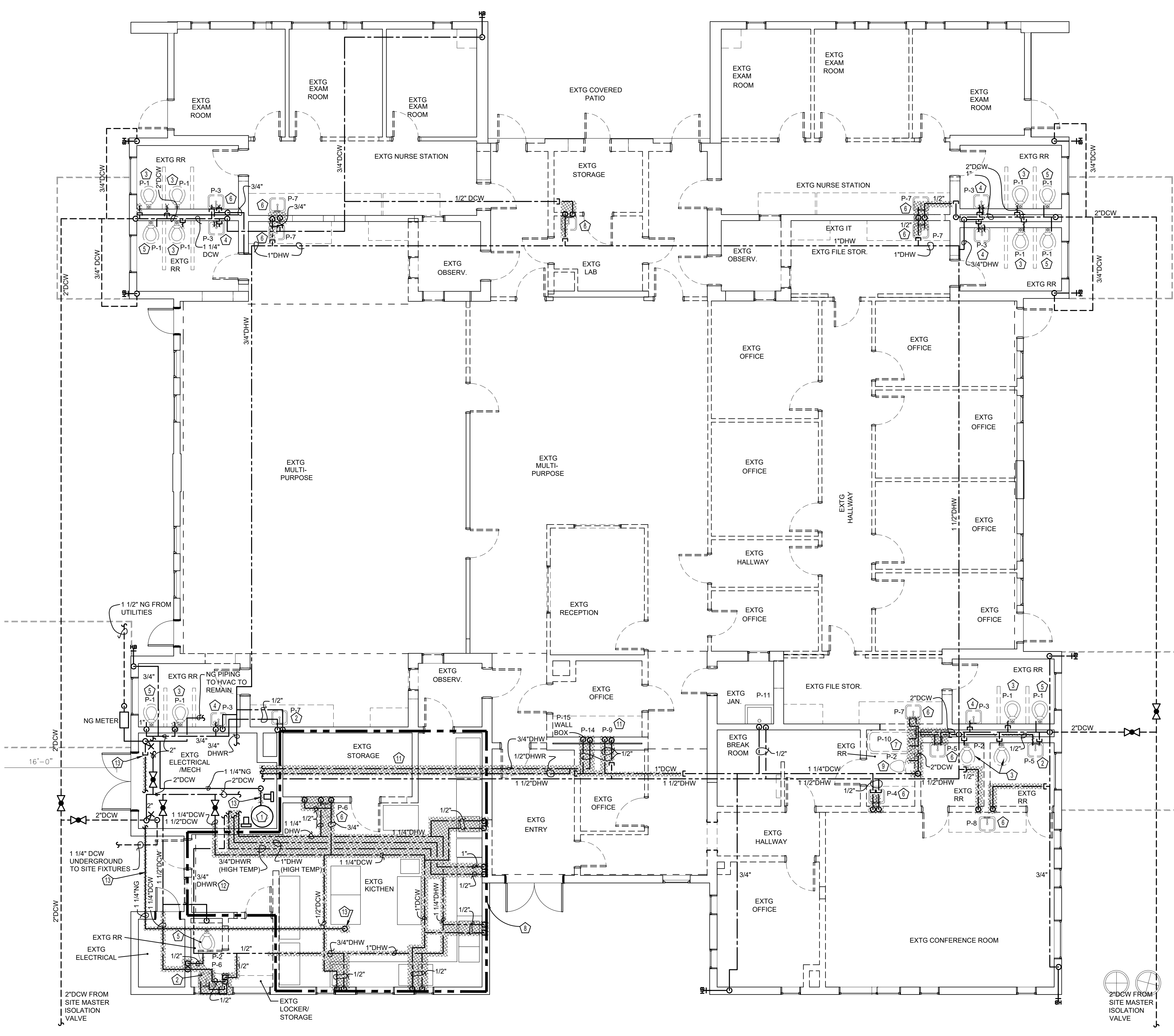
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- REMOVE ALL KITCHEN PLUMBING FIXTURES AND ACCESSORIES. REMOVE PIPING AS INDICATED TO A POINT ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- REMOVE WATER CLOSET AND PIPING AS INDICATED. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. DO NOT USE.
- REMOVE LAUNDRY PIPING THAT REMAINS IN THIS AREA. REMOVE PIPING INDICATED BACK TO THE MECHANICAL ROOM.
- EXISTING DHWR PIPING TO REMAIN AND BE REUSED AS DHW SUPPLY.
- REMOVE GAS PIPING INDICATED. CAP PIPING AT GAS RISER.

DEMOLITION LEGEND:

- PIPE TO REMAIN
- PIPE TO BE REMOVED
- NEW PIPE CAP LOCATION

P-1 WATER CLOSET (JUNIOR)	P-9 LAUNDRY SINK
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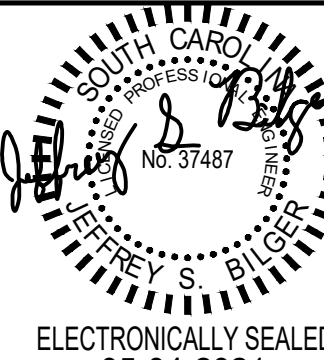
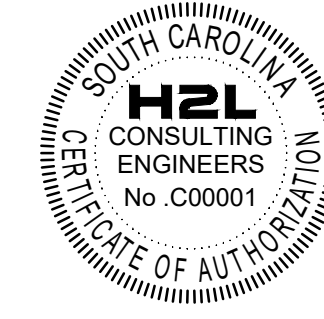
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PLUMBING - SANITARY DEMOLITION FLOOR PLAN
 SCALE: 3/16" = 1'-0"

Drawing File: M:\2020\05\04\2020\05\04_P1.01_P102 Plumbing Demolition Plans.dwg - Plotted by: lissaid - Plotted Date: May 03, 2021, 2:08pm

RELEASE FOR BIDDING - MAY 4, 2021



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05-04-2021



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NO.	DESCRIPTION	DATE
1	Issue for Bid	05-04-2021

PROJECT NUMBER: C-19-999-2
PROJECT NAME: 20002.02

P1.03

DATE: 05/04/2021

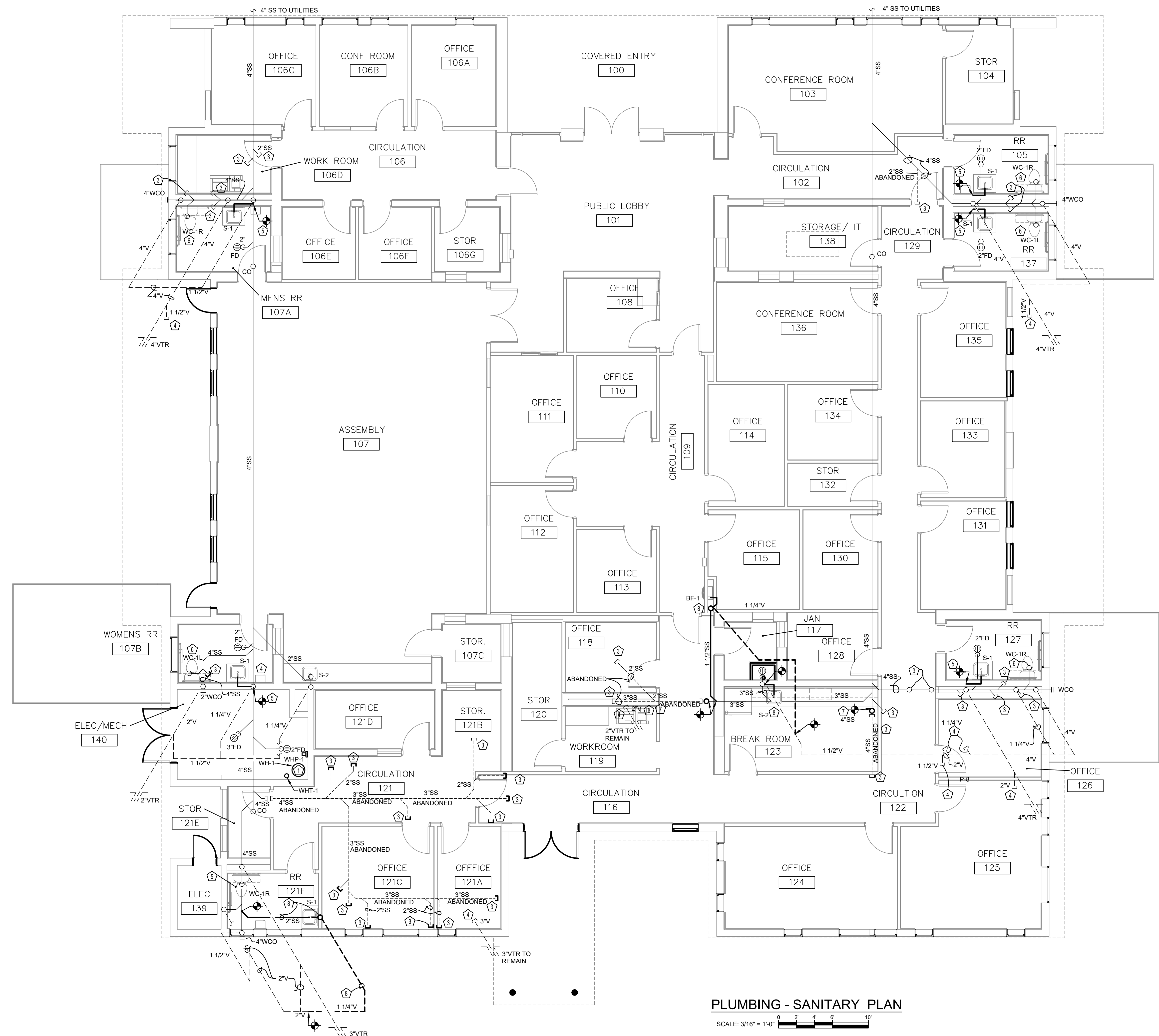
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- ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS ARISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
- COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
- COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

PLAN NOTES:

- FURNISH AND INSTALL NEW WATER HEATER, PUMP AND ASSOCIATED PIPING IN THIS AREA AS INDICATED ON WATER HEATER DETAIL ON DRAWING P2.01.
- TIE IN EXISTING PIPING TO NEW AT POINT INDICATED.
- PIPE CAPPED BELOW SLAB DURING DEMOLITION. REPAIR SLAB TO MATCH EXISTING.
- PIPE CAPPED ABOVE CEILING DURING DEMOLITION.
- CONNECT NEW DRAIN PIPE FROM FIXTURE TO EXISTING PIPE AND CONNECT. SIZE PIPE TO MATCH EXISTING PIPE.
- NEW WATER CLOSET, CONNECT TO EXISTING PLUMBING. MODIFY PIPING AS NEEDED TO INSTALL FIXTURE IN NEW LOCATION. REPAIR WALL AND/OR SLAB TO MATCH EXISTING.
- FURNISH AND INSTALL NEW FLOOR CLEANOUT IN LOCATION INDICATED. REPAIR SLAB TO MATCH EXISTING.
- FURNISH AND INSTALL NEW PLUMBING FIXTURE, NEW VENT AND UNDERSLAB PIPING AS INDICATED. REPAIR SLAB TO MATCH EXISTING.



PLUMBING - SANITARY PLAN

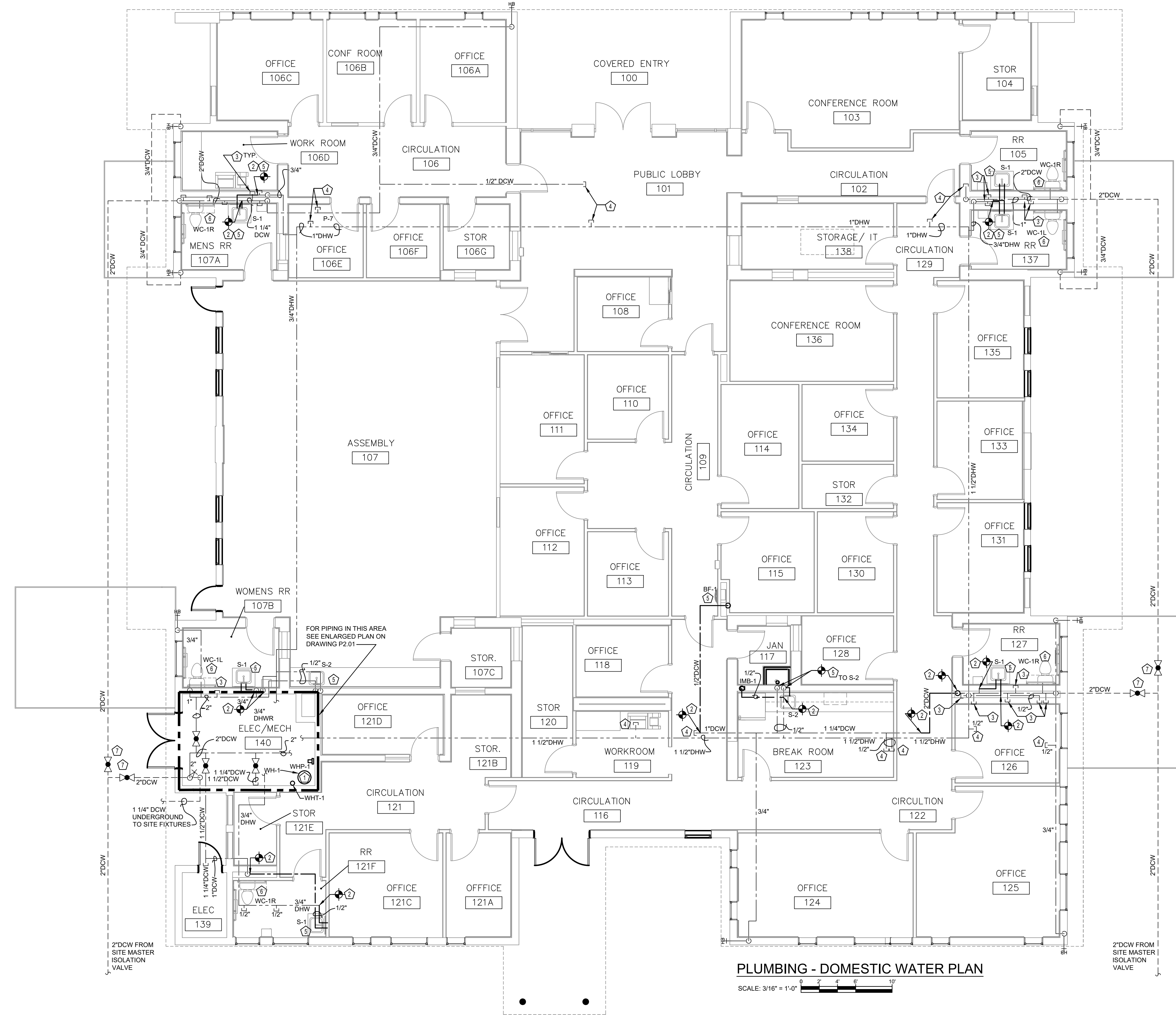
SCALE: 3/16" = 1'-0"

GENERAL NOTES:

1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
9. COORDINATE ROUTING OF PLUMBING AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS ARISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
11. DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT, PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.G. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE "HARD" CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

PLAN NOTES:

1. FURNISH AND INSTALL NEW WATER HEATER, PUMP AND ASSOCIATED PIPING IN THIS AREA AS INDICATED ON WATER HEATER DETAIL ON DRAWING P2.01.
2. TIE IN EXISTING PIPING TO NEW AT POINT INDICATED.
3. PIPE CAPPED BEHIND WALL DURING DEMOLITION. REPAIR WALL AS REQUIRED TO MATCH EXISTING.
4. PIPE CAPPED ABOVE CEILING DURING DEMOLITION.
5. FURNISH AND INSTALL NEW FIXTURE AS INDICATED. CONNECT NEW DOMESTIC WATER PIPE FROM FIXTURE TO EXISTING PIPE AS INDICATED AND CONNECT. SIZE PIPE TO MATCH FIXTURE REQUIREMENTS.
6. FURNISH AND INSTALL NEW WATER CLOSET AS INDICATED. CONNECT TO EXISTING PLUMBING. MODIFY PIPING AS NEEDED TO INSTALL FIXTURE IN NEW LOCATION. REPAIR WALL TO MATCH EXISTING.
7. VALVE BOXES ARE INDICATED ON SITE PLAN IN THIS LOCATION. (SEE SITE PLAN ON DRAWING P2.01) BUT WERE NOT LOCATED IN FIELD OBSERVATION. CONTRACTOR SHALL LOCATE BOXES AND MODIFY AS REQUIRED TO ALLOW ACCESSIBILITY TO THE VALVE FROM THE GRADE LEVEL. SEE VALVE BOX DETAIL ON DRAWING P2.01.



PLUMBING - DOMESTIC WATER PLAN
SCALE: 3/16" = 1'-0"

Drawing File: M:\2020\06\2020\06\02 - CHA Walker Solomon\Design\2020\06\02 - P1.03 - P1.04 Plumbing Floor Plans.dwg - Plotted Date: May 03, 2021 - 2:24pm

RELEASE FOR BIDDING - MAY 4, 2021

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2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

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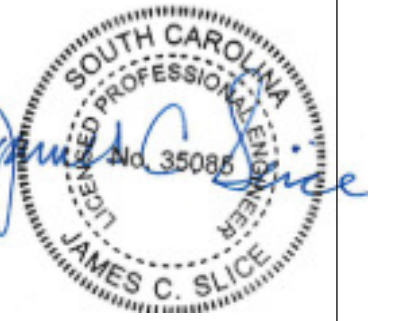
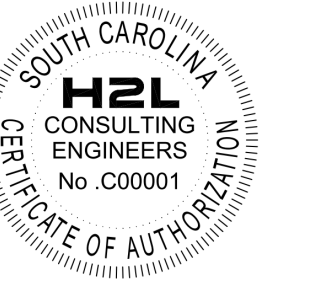
REVISIONS		
No.	Description	Date
1	Issue for Bid	05-04-2021

PROJECT NUMBER	19-099-2
DATE	05/04/2021

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CLIENT NAME
PROJECT NAME
PROJECT ADDRESS

REVISION No.	Description	Date

PROJECT NUMBER: 20002.02

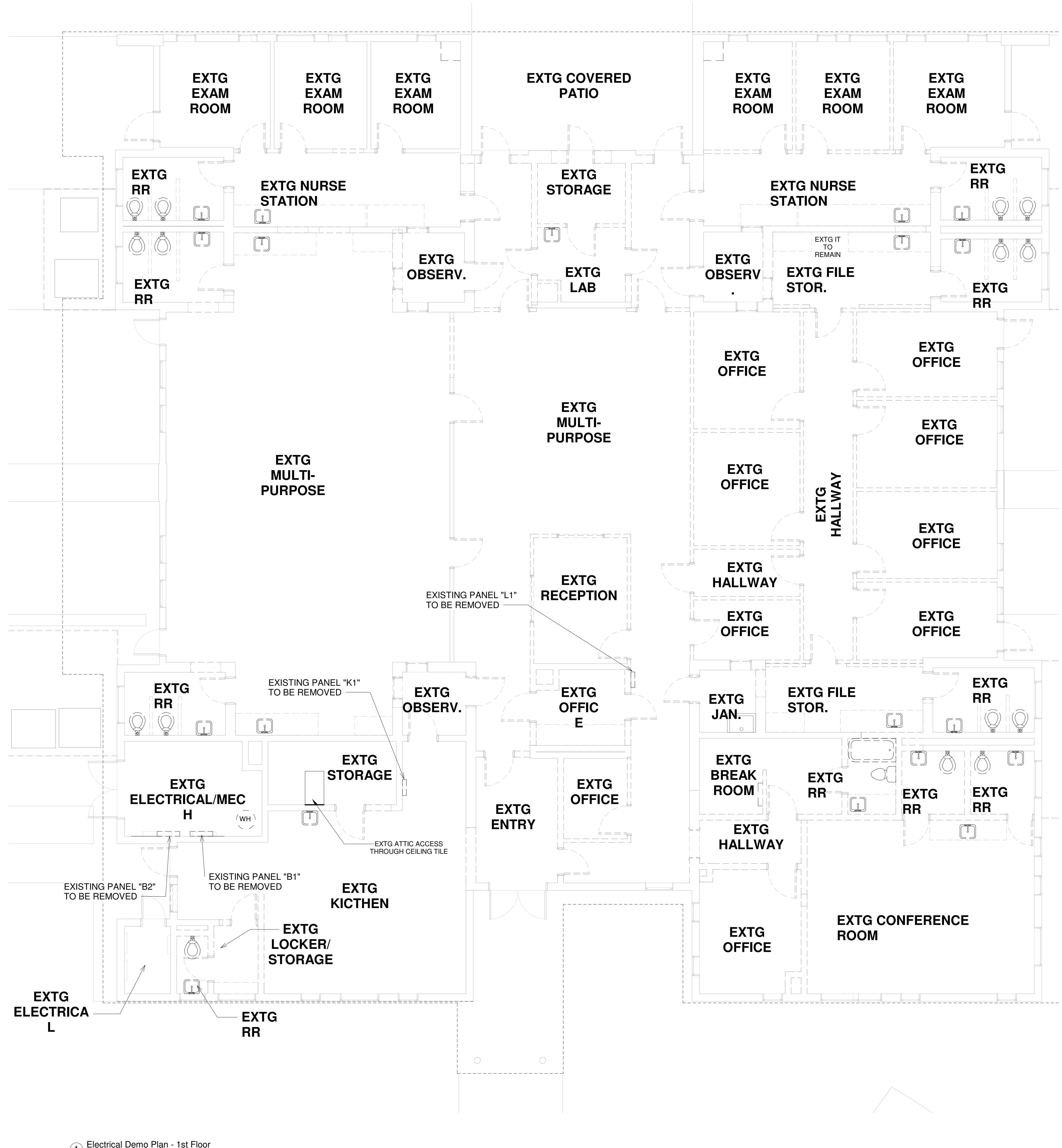
SHEET NUMBER: ED101

SHEET NAME: POWER DEMO PLAN - FIRST FLOOR

DATE: 05-04-21

RELEASED FOR PLAN REVIEW AND BIDDING - MAY 4, 2021

5/3/2021 4:37:25 PM



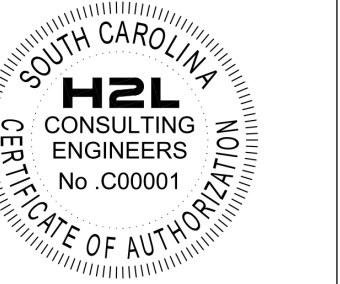
LEGEND:
[Dashed Box Symbol] ELECTRICAL PANELS TO BE REMOVED

1 Electrical Demo Plan - 1st Floor
3/16" = 1'-0"

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POWER NOTES:

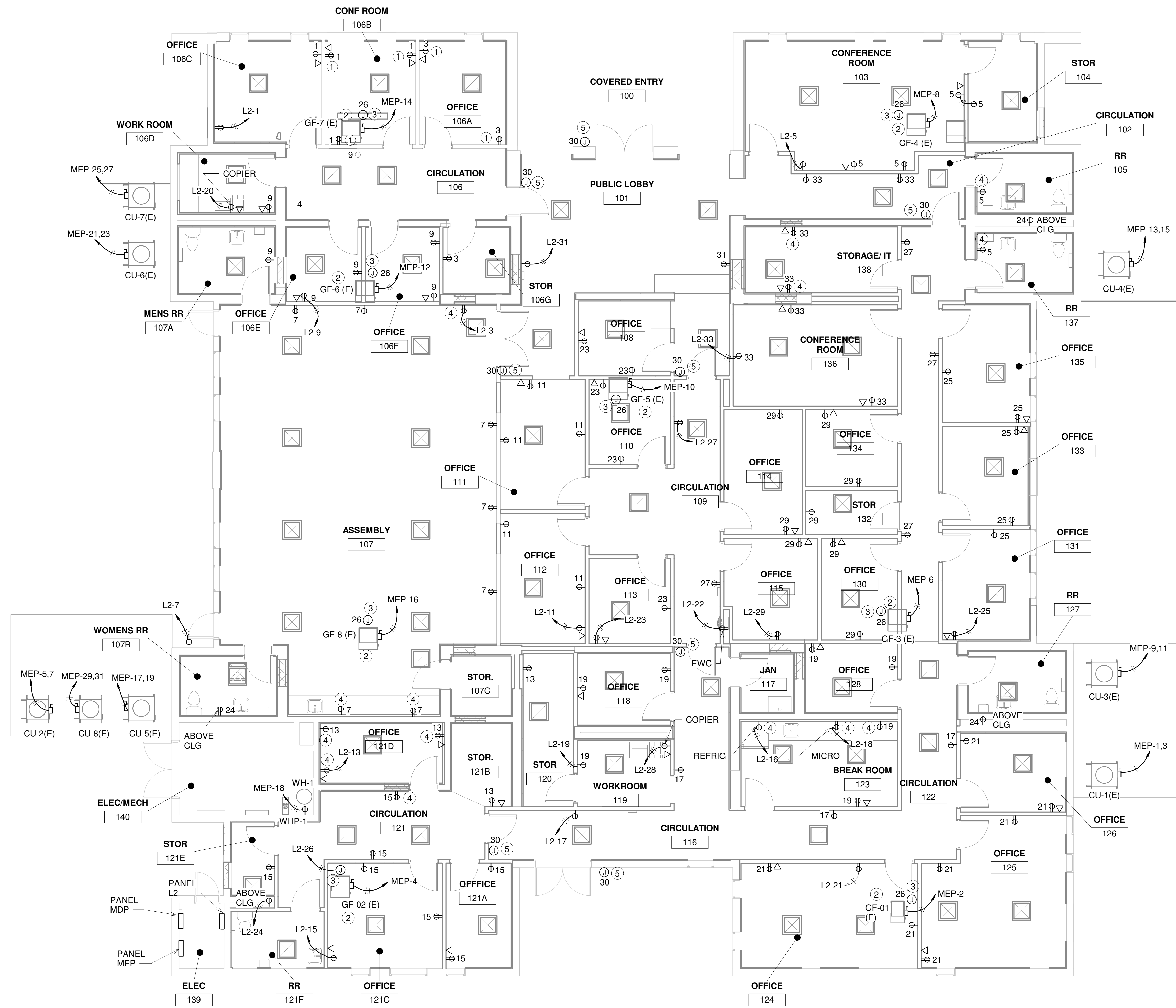
1. ALL OUTLETS AND EQUIPMENT SHALL BE WIRED TO PANEL CIRCUIT INDICATED ON PLAN, UNLESS NOTED OTHERWISE.
2. CONFIRM EXACT LOCATION OF ALL OUTLETS, SWITCHES AND EQUIPMENT PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS PRIOR TO WIRE PULL.
3. ALL POWER WIRING SHALL BE ROUTED IN CONDUIT SUITABLE FOR THE AREA THROUGH WHICH IT IS ROUTED.
4. ALL BRANCH CIRCUIT WIRING SHALL BE #12 AWG UNLESS NOTED OTHERWISE. QUANTITY OF WIRES SHALL BE AS REQUIRED TO ACCOMPLISH THE CIRCUITRY AND SWITCHING INDICATED.
5. ELECTRICAL CONTRACTOR SHALL ROUTE HOMERUNS AS ECONOMICALLY AS POSSIBLE. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE SHALL BE ADHERED TO IN REGARD TO CONDUIT FILL AND DERATING OF WIRE.
6. COLOR OF OUTLETS, SWITCHES AND COVER PLATES SHALL BE AS DIRECTED BY ARCHITECT OR OWNER.
7. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE, 2017 EDITION SHALL BE ADHERED TO.
8. REFER TO DWG. E001 FOR PANEL SCHEDULES AND SPECS.
9. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS, DIMENSIONS INTERFERENCES, ETC.
10. COORDINATE INSTALLATION OF ELECTRICAL SYSTEM WITH GENERAL CONTRACTOR AND SUB-CONTRACTORS.
11. ANY 20 AMP, 120 VOLT CIRCUIT OVER 75' MUST BE #10 AWG.
12. PROVIDE 120V RECEPTACLE AND 100W KEYLESS INCANDESCENT LIGHT FIXTURE LOCATED AT HVAC AIR HANDLING UNIT IN ATTIC SPACE. CONNECT TO NEAREST NON-DEDICATED 120V CIRCUIT IN AREA. PROVIDE LIGHT SWITCH NEAR ATTIC ACCESS DOOR. COORDINATE LOCATIONS WITH OWNER.
13. EXITING RECEPTACLES NOT SHOWN ON THIS DRAWING AND NOT DEMOLISHED WITH A WALL SHALL BE DEMOLISHED.

POWER KEYED NOTES

- ① EXISTING RECEPTACLES TO REMAIN
- ② AIR HANDLING UNITS INSTALLED IN ATTIC. SEE MECHANICAL DRAWINGS FOR EXACT LOCATION.
- ③ JUNCTION BOX INSTALLED IN ATTIC FOR LIGHTING FOR AC UNIT. EXACT LOCATION TO BE DETERMINED BY ELECTRICAL CONTRACTOR.
- ④ RECEPTACLES ON MASONRY WALLS TO BE INSTALLED IN SHALLOW BOX NOT TO EXCEED 1 1/2" IN DEPTH.
- ⑤ JUNCTION BOX INSTALLED AT 3" 6" AFF. SEE NETWORK ACCESS CONTROL MOUNTING DETAIL ON DWG E201.

RECEPTACLES ON WALLS TO BE DEMOLISHED WILL BE REMOVED AND CIRCUITS PULLED BACK TO PANEL.

PANELS B1, B2, K1, AND L1 WILL BE REMOVED. THE RECEPTACLES AND EQUIPMENT SHOWN ON THE POWER PLAN HAVE BEEN RECIRCUITED TO PANEL "L2" AS INDICATED ON DRAWING E101.



① Electrical Renovation Plan - 1st Floor
 3/16" = 1'-0"

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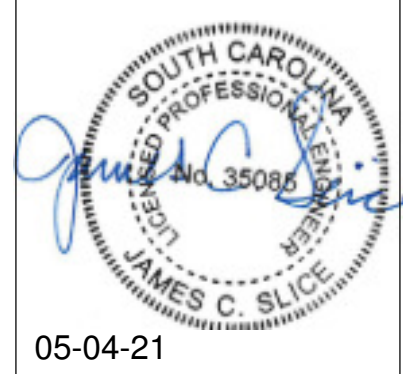
CLIENT NAME
 PROJECT NAME
 PROJECT ADDRESS

PROJECT NUMBER 200002.02

E101

SHEET NAME
 ELECTRICAL RENOVATION
 POWER PLAN - FIRST FLR.
 DATE 05-04-21

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REVISION NO.	DESCRIPTION	DATE

LIGHTING NOTES:

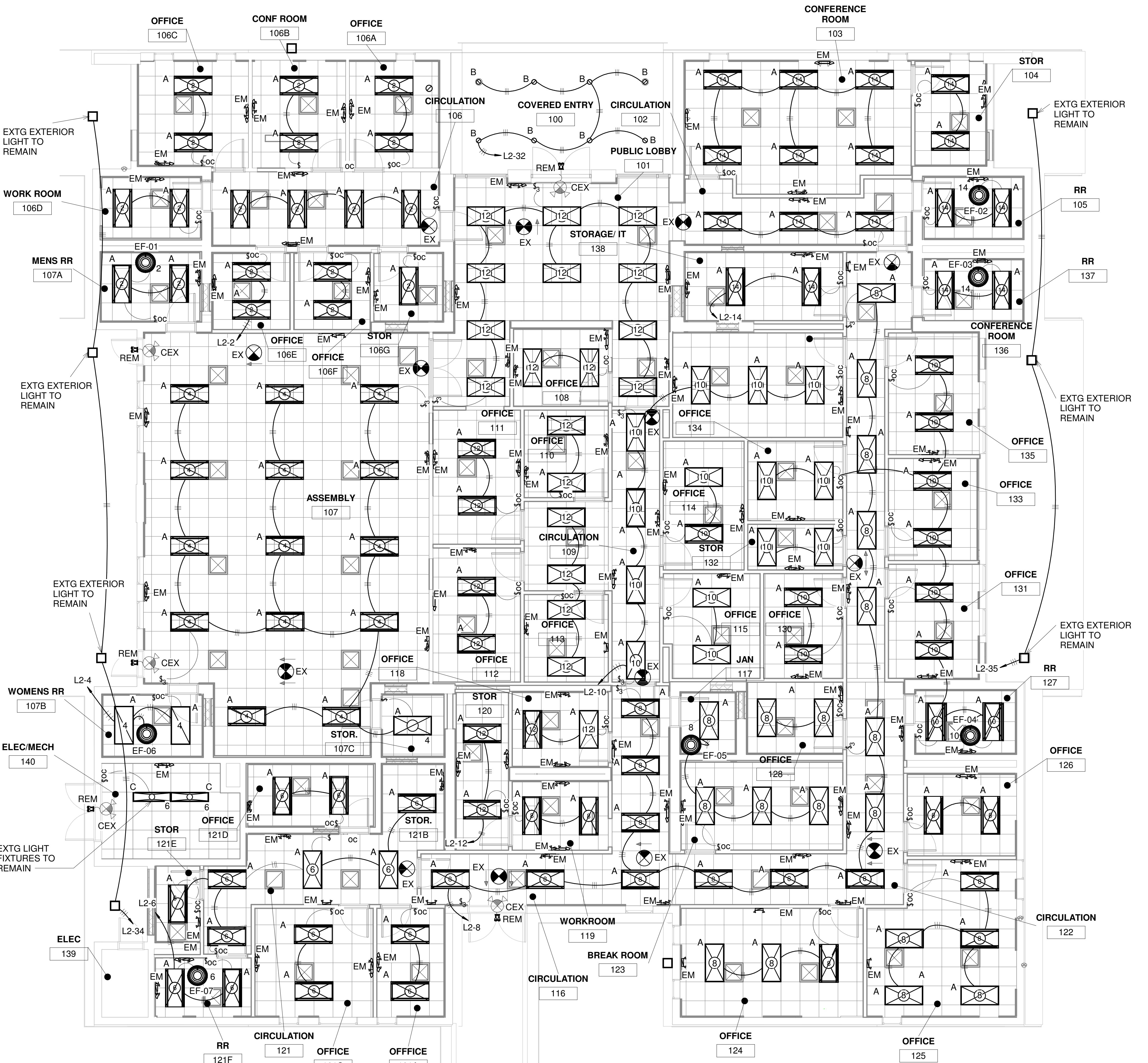
1. CONFIRM EXACT LOCATION OF ALL SWITCHES PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS.
2. ALL BRANCH CIRCUIT WIRING SHALL BE #12 AWG UNLESS NOTED OTHERWISE. QUANTITY OF WIRES SHALL BE AS REQUIRED TO ACCOMPLISH THE CIRCUITRY AND SWITCHING INDICATED.
3. ELECTRICAL CONTRACTOR SHALL ROUTE HOMERUNS AS ECONOMICALLY AS POSSIBLE. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE SHALL BE ADHERED TO IN REGARD TO CONDUIT FILL AND DERATING OF WIRE.
4. ALL LIGHTING FIXTURES ON THIS PLAN SHALL BE WIRED TO PANEL 'L2' AND CIRCUIT INDICATED, UNLESS NOTED OTHERWISE.
5. ALL NIGHT LIGHTS AND EMERGENCY LIGHTING SHALL BE WIRED TO SAME CIRCUIT AS LOCAL AREA LIGHTING, EXCEPT AHEAD OF ALL LOCAL SWITCHES.
6. ALL EXIT SIGNS AND EMERGENCY LIGHTING FIXTURES SHALL BE SUPPLIED WITH BATTERY BACK-UP FOR EMERGENCY POWER.
7. EMERGENCY LIGHTS AND EXIT SIGNS SHOWN ARE CONSIDERED A MINIMUM. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LOCAL AUTHORITIES AND ADD ADDITIONAL FIXTURES IF REQUIRED.
8. ELECTRICAL CONTRACTOR SHALL CONFIRM EXACT MOUNTING METHOD OF ALL LIGHT FIXTURES AND PROVIDE ALL NECESSARY HARDWARE.
9. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE, 2017 EDITION SHALL BE ADHERED TO.
10. REFER TO DWG. E3.0 FOR RISER DIAGRAM AND PANEL SCHEDULES.
11. COORDINATE INSTALLATION OF ELECTRICAL SYSTEM WITH GENERAL CONTRACTOR AND SUB CONTRACTORS.
12. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS, DIMENSIONS INTERFERENCES, ETC.
13. COLOR OF OUTLETS, SWITCHES AND COVER PLATES TO BE AS DIRECTED BY THE ARCHITECT OR OWNER.
14. ANY 20 AMP, 120 VOLT CIRCUITS OVER 75' MUST BE #10 AWG.
15. ANY 20 AMP, 277 VOLT CIRCUITS OVER 75' MUST BE #10 AWG.

Lighting Notes
 3/16" = 1'-0"

KEYED NOTES:

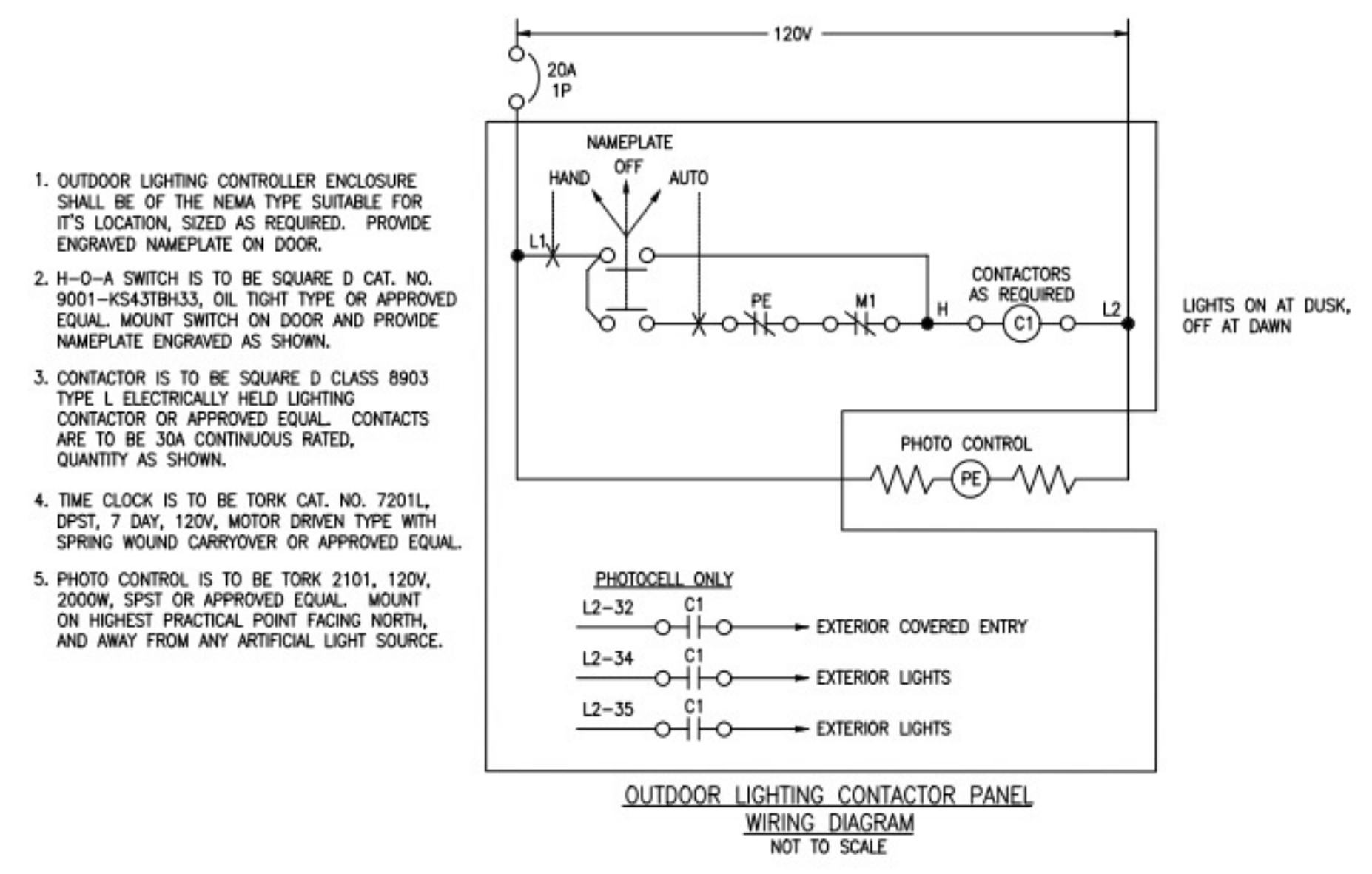
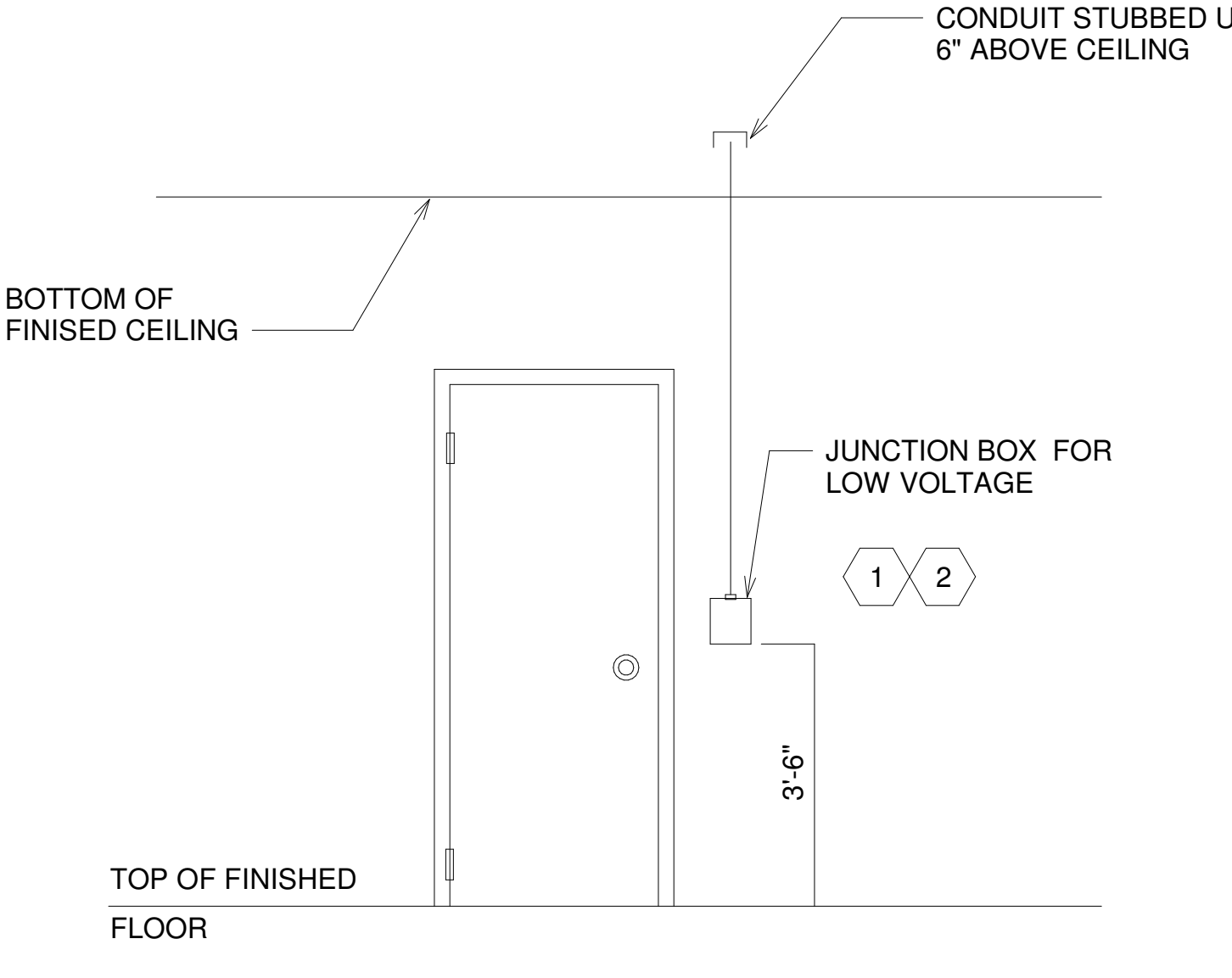
- 1 REFER TO DOOR SCHEDULE ON THE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND ADDITIONAL INFORMATION.
- 2 JUNCTION BOX TO BE INSTALLED AT ADA HEIGHT.

Network Access Control Mounting Detail
 3/16" = 1'-0"



Lighting Renovation Plan - 1ST Floor
 3/16" = 1'-0"

Lighting Contactor 1
 3/16" = 1'-0"



1. OUTDOOR LIGHTING CONTROLLER ENCLOSURE SHALL BE OF THE NEMA TYPE SUITABLE FOR ITS LOCATION, SIZED AS REQUIRED. PROVIDE ENGRAVED NAMEPLATE ON DOOR.
2. H-O-A SWITCH IS TO BE SQUARE D CAT. NO. 9001-4CA37B433, OR LIGHT TYPE OR APPROVED EQUAL. MOUNT SWITCH ON DOOR AND PROVIDE NAMEPLATE ENGRAVED AS SHOWN.
3. CONTACTOR IS TO BE SQUARE D CLASS 8903 TYPE 'L' ELECTRICALLY HELD LIGHTING CONTACTOR OR APPROVED EQUAL. CONTACTS ARE TO BE 30A CONTINUOUS RATED, QUANTITY AS SHOWN.
4. TIME CLOCK IS TO BE TORK CAT. NO. 7201L, DPST, 7 DAY, 120V, MOTOR DRIVEN TYPE WITH SPRING WOUND CARRYOVER OR APPROVED EQUAL.
5. PHOTO CONTROL IS TO BE TORK 2101, 120V, 2000W, SPST OR APPROVED EQUAL. MOUNT ON HIGHEST PRACTICAL POINT FACING NORTH AND AWAY FROM ANY ARTIFICIAL LIGHT SOURCE.

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