

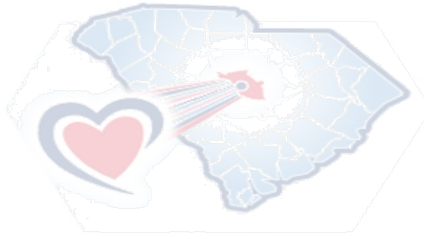
ANNUAL PLAN | FISCAL YEAR 2022

(July 01, 2021 – June 30, 2022)

VIRTUAL PUBLIC HEARING

☎ 301.715.8592 - 📠 930 2880 5610

Thursday | April 8, 2021 | 12:00 pm



PRESENTERS:



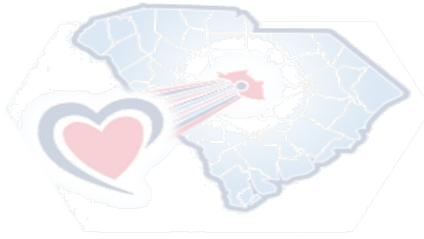
Ivory N. Mathews,
Chief Executive Officer



Yvonda A. Bean,
Chief Operating Officer



Cindi Herrera,
SVP of Development

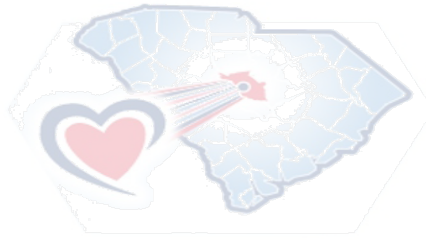


MISSION

“Because Columbia Housing Cares, we are leveraging the power of housing to build a foundation for individuals and families to thrive.”

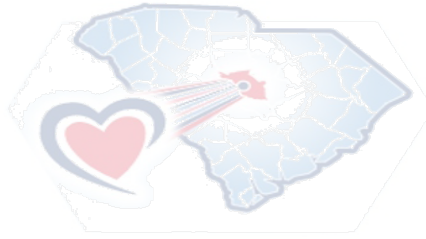
VISION

“Communities of opportunity where individuals and families can live, work, and thrive to their fullest potential.”



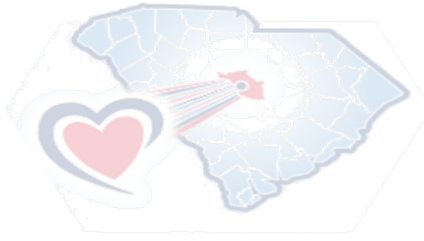
TIMELINE:

ACTIVITIES	TIMELINE
Public Comment Period	2/19/2021-4/5/2021
Resident Advisory Board Meeting	3/31/2021
Public Hearing	4/8/2021
Board Meeting	4/15/2021
Due Date	4/16/2021
Fiscal Year Begins	7/1/2021



STRATEGIC GOALS:

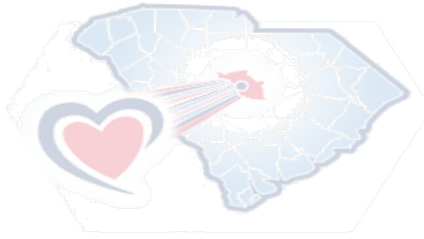
1. RESIDENT STRATEGIES
2. HOUSING CHOICE VOUCHER PROGRAM
3. HOMELESS PROGRAMS
4. HOMEOWNERSHIP
5. HUMAN RESOURCES & PERSONNEL DEVELOPMENT
6. COMMUNITY SAFETY & SECURITY
7. INFORMATION TECHNOLOGY SERVICES
8. VIOLENCE AGAINST WOMEN ACT
9. COMMUNICATIONS & COMMUNITY ENGAGEMENT
10. PUBLIC HOUSING
11. DEVELOPMENT & CAPITAL IMPROVEMENT



STRATEGIC GOAL #1

RESIDENT STRATEGIES

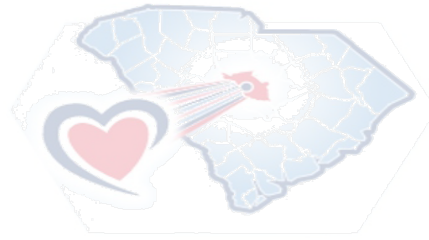
Strengthen relationships with the people we serve by increasing mutual accountability and by improving our ability to connect them to vital services within the community that will foster economic self-sufficiency and quality of life opportunities.



STRATEGIC GOAL #2

HOUSING CHOICE VOUCHER PROGRAM

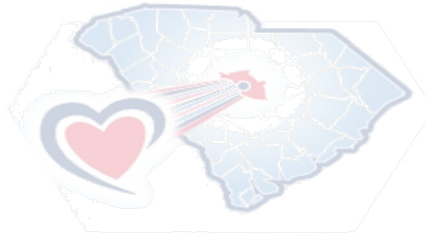
Maximize our leasing capacity in accordance with our Annual Budget Authority. Maintain program compliance, in accordance with HUD regulations.



STRATEGIC GOAL #3

HOMELESS PROGRAMS

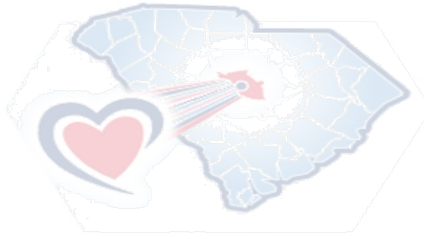
Expand our collaborative partnerships with county and citywide efforts to reduce the number of families who are at risk of experiencing homelessness or who are at risk of losing housing.



STRATEGIC GOAL #4

HOMEOWNERSHIP

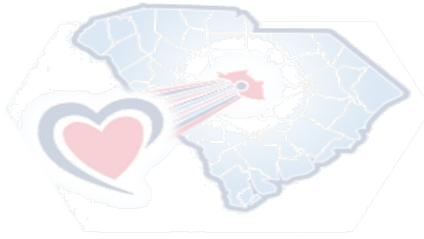
Create opportunities for our residents and program participants, through the coordination of homebuyer education, housing counseling services, or any other resources and activities that will increase homeownership opportunities.



STRATEGIC GOAL #5

HUMAN RESOURCES & PERSONNEL DEVELOPMENT

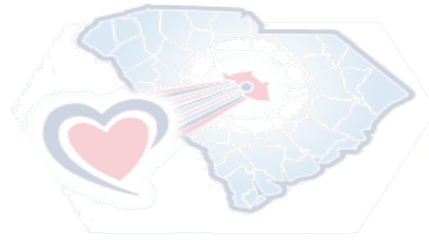
Embrace our new identify by transforming the organizational structure and culture by establishing a track record for integrity, accountability, collaboration, and exceptional customer service.



STRATEGIC GOAL #6

COMMUNITY SAFETY & SECURITY

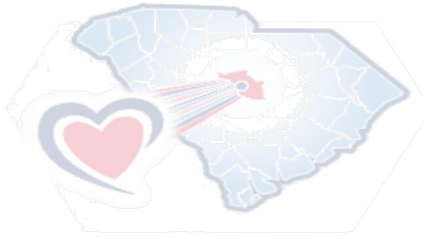
Develop a comprehensive community safety strategy, in partnership with our communities and law enforcement agencies, that will improve public safety and the quality of life for our residents throughout all our communities.



STRATEGIC GOAL #7

**INFORMATION
TECHNOLOGY
SERVICES**

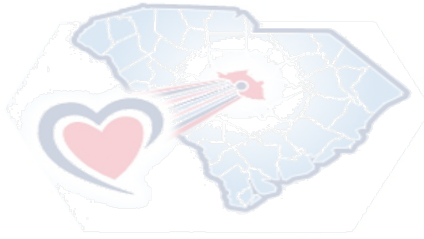
Innovate the way we maintain the smooth functioning of our infrastructure and operational environments that support application deployment to our internal and external customers.



STRATEGIC GOAL #8

VIOLENCE AGAINST WOMEN ACT

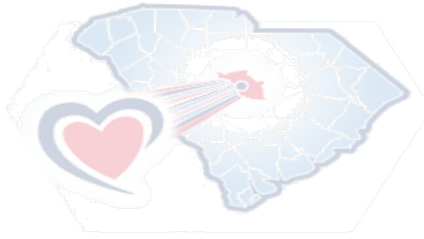
Enforce and protect the rights of victims of domestic violence, dating violence, and stalking to secure and maintain housing without being victimized a second time by being denied housing or losing housing because of the criminally violent act perpetrated against them.



STRATEGIC GOAL #9

COMMUNICATIONS & COMMUNITY ENGAGEMENT

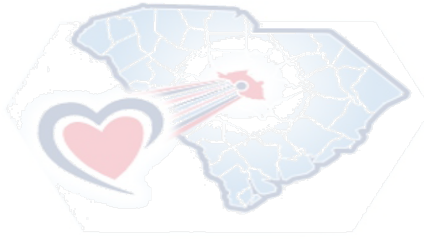
Build support for housing as a key component of vibrant, sustainable communities through the communication of public information, and through engagement and advocacy that promotes affordable housing and supports the advancement of low wealth individuals and families.



STRATEGIC GOAL #10

PUBLIC HOUSING

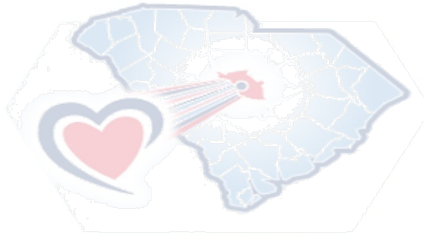
Develop and implement repositioning strategies for all public housing properties. Maintain program compliance, in accordance with HUD regulations.



STRATEGIC GOAL #11

DEVELOPMENT & CAPITAL IMPROVEMENTS

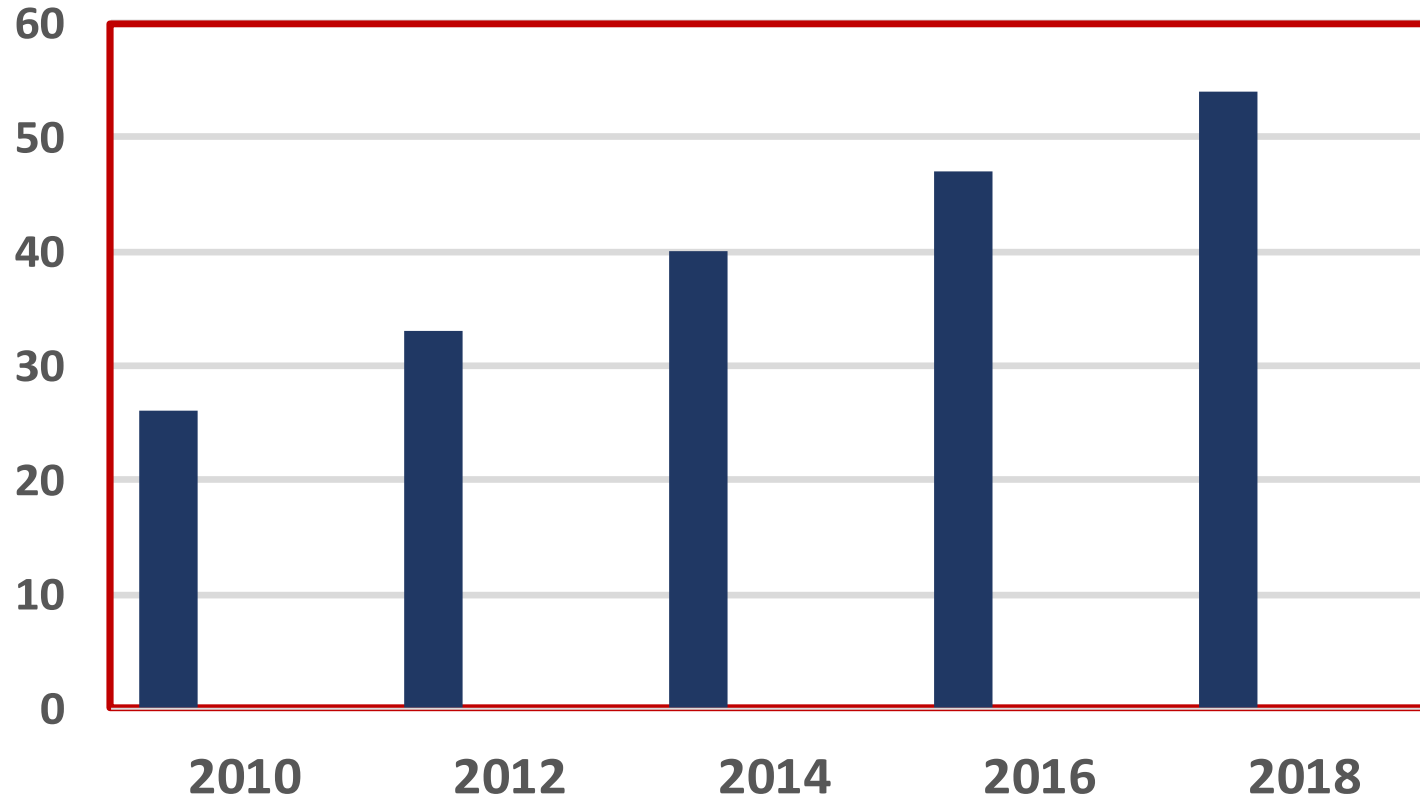
Support repositioning strategies of the existing real estate portfolio through recapitalization, conversion, and preservation.

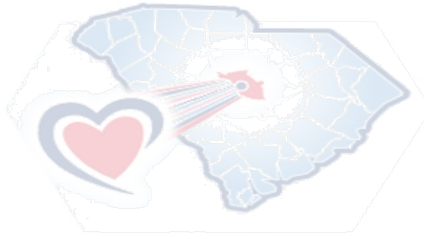


Repositioning Public Housing



PUBLIC HOUSING CAPITAL FUNDS BACKLOG





Repositioning Public Housing



MIXED FINANCE

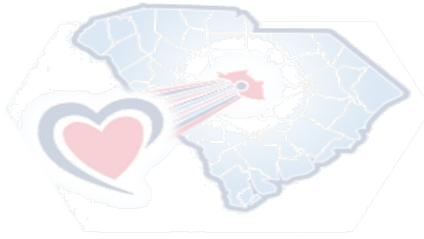
(HOPE VI /Choice Neighborhood)

SECTION 18

TOOLS

**VOLUNTARY
CONVERSION**

RAD



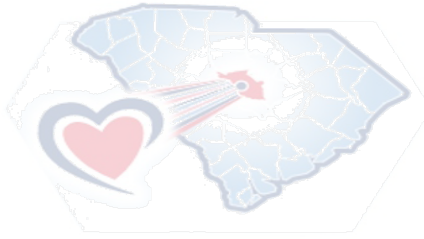
Rental Assistance Demonstration Program

What is RAD?

1. HUD demonstration program to eliminate Public Housing
2. Converts Public Housing properties Project Based Section 8 Properties with 20-year contracts

Why RAD?

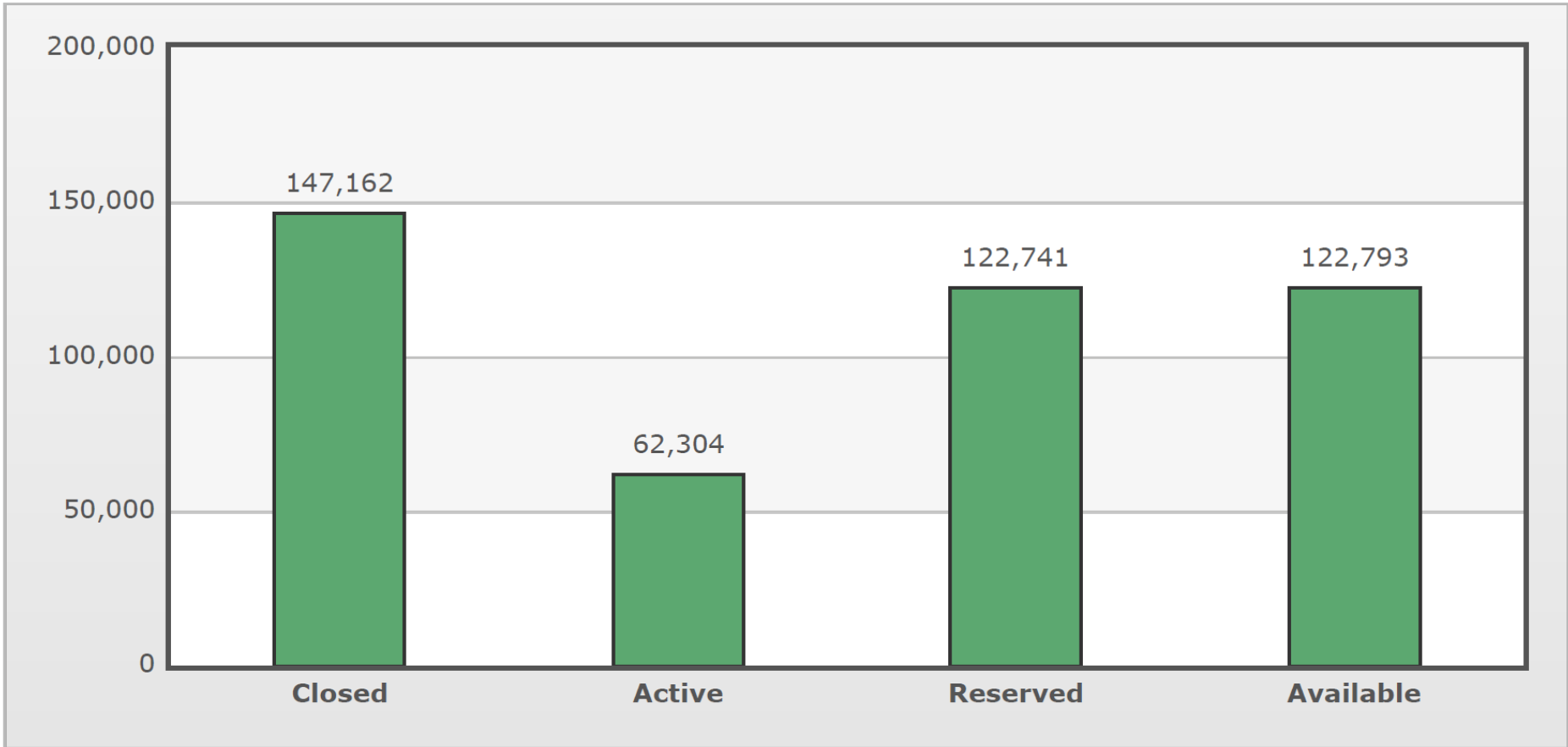
1. Unfunded capital needs of Public Housing properties nationwide
2. HOPE VI became very expensive
3. Congress has historically funded Section 8 programs at higher levels than Public Housing.
4. RAD provides stable funding.
5. Public Housing statutorily prohibited from borrowing money
6. RAD allows PHA to access private sector financing to recapitalize properties as needed.

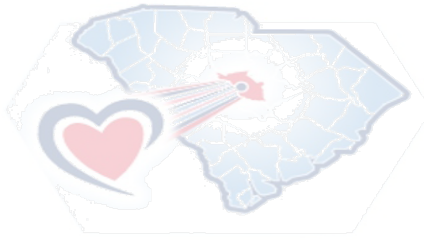


Rental Assistance Demonstration Program



Units Converting

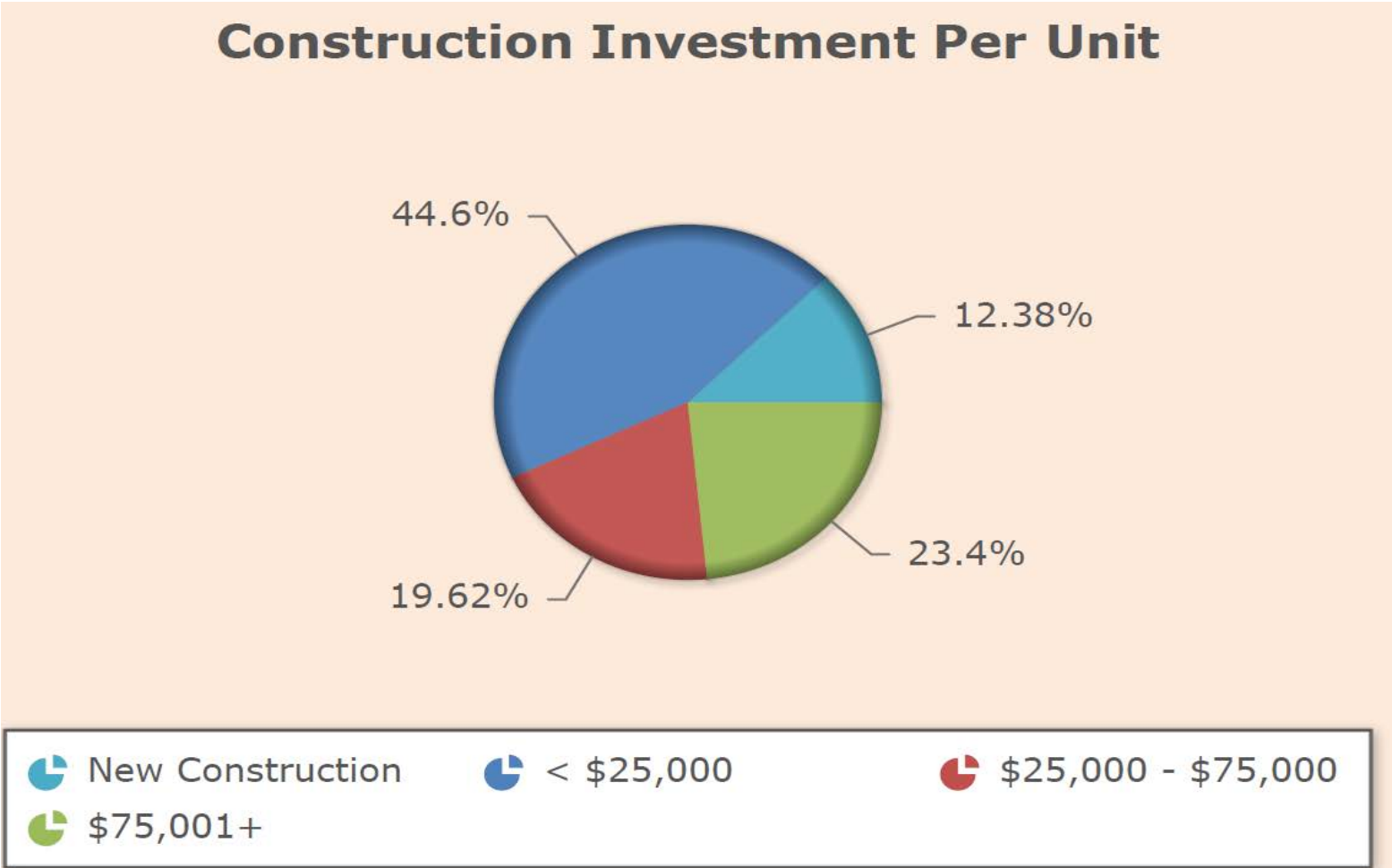


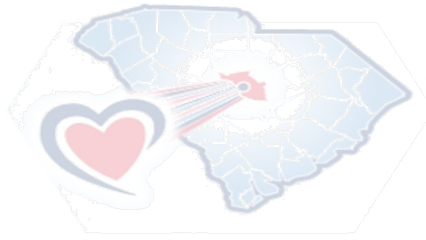


Rental Assistance Demonstration Program

**PRIVATE CAPITAL
RAISED NATIONWIDE**

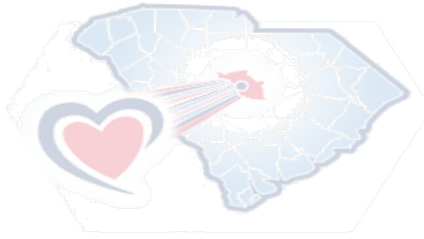
\$11.55 BILLION





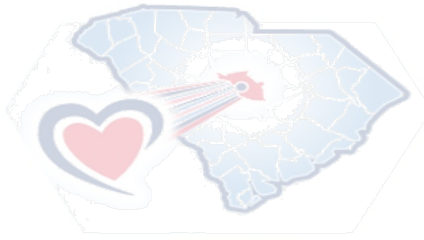
RAD Tenant Protections

- For most tenants, rent will be the same; calculated at 30% of your income.
- If you are at ceiling or maximum rent, your rent may change because Project Based Vouchers do not have a ceiling rent.
- If you have to move because of rehabilitation or demolition, you will have a right to return upon completion of construction.
- If you have to move, a tenant-based voucher will be provided to you.
- Choice Mobility – if you do not have to move, you will have the right to request a tenant-based voucher after 1 year on a RAD voucher.



Other Conversion Tools – Section 18

- RAD does not work for all properties
- Disposition or Demolition of Public Housing
- Improved Efficiency/Effectiveness
- Best Interests– In the “best interest” of residents to dispose
 - Obsolescence test – rehab exceeds 60% of replacement costs
 - Single Family houses



Section 18 Obsolescence

Gonzales Gardens

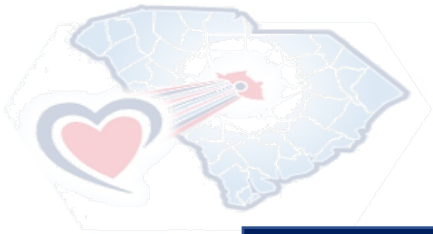


Allen Benedict Court



Marion Street

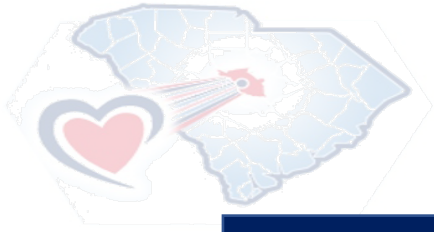




Section 18 Obsolescence

Oaks at St. Anna's Park (Gonzales Gardens)





Section 18 Obsolescence

Haven at Palmer Pointe (Marion Street replacement at Carter St.)



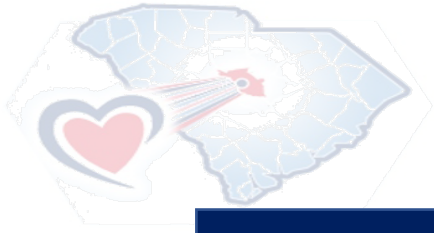


Section 18 Single Family Homes



- Section 18 Scattered Sites
- 295 Single Family Homes
- Rehab and sell to tenants under Lease-Purchase
- Dispose of others – sell at highest bid





RAD/Section 18 Combo

Latimer Manor



Dorrah Randall



Reserves at Faraway

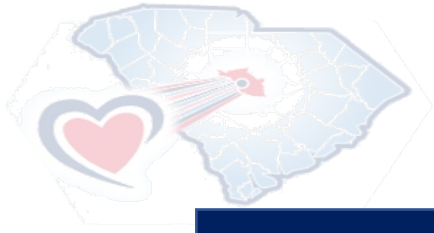


Oak Read Highrise



Arrington Manor



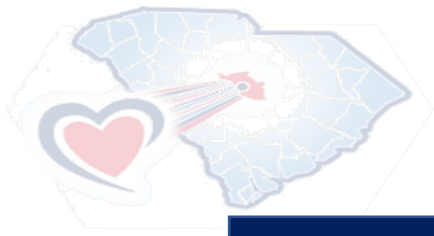


RAD/Section 18 Combo



- Scattered Site Properties
- 19 Properties
- 476 Units
- 24 Units Demolished and RAD TOA





RAD Only

Eastover



Rosewood Senior Housing

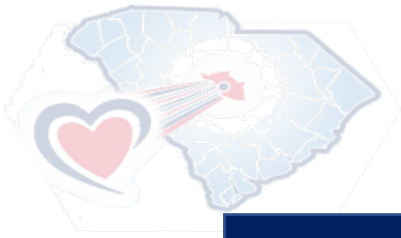


Hammond Village



Villages at Rivers Edge





PBV – Development Tool

- Project Based Vouchers
- Development Partners selected under solicitation
- PH Replacement Units
- Not on PH sites
- New construction only

PBV PROJECTS	TYPE	ESTIMATED UNITS
Hunt Club	Family	100
Willows at Wateree	Senior	130
Woods at Wateree	Family	80
Huntington Court	Family	100
TOTAL PBV		410