

ADDENDUM #1

Addendum #1 does not add additional time to the bid date – Bids are due January 14, 2021 @ 2PM

1. The entire project is on job/contract but needs to be priced in 3 Phases with total HVAC and Plumbing separate (please see new Bid Form)
2. The entire project will be completed all at the same time, not divided into phases.
3. All items (furniture, cubicles, filing cabinets) the responsibility of the contractor to dispose/salvage
4. ACM/LBP tests have been performed with no positive traces. This test has expired so a new test is currently being performed. Mediation if needed, will be discussed in an addendum
5. All flooring including the ceramic tiles on lower level and new LVP in upper level phase III will be removed
6. Stair treads will be replace per plans/specifications
7. No bid bond is currently required. Payment and performance bond will be discussed with awardee
8. The entire roof has been replaced; no roof work/repairs are included in this contract
9. The Piggy back clause is for another Housing Authority to use the awardee for one of their projects without having to go out for bid.
10. The elevator is to small to move drywall upstairs
11. Access Control will be installed by Irmo Lock and Key – They will require conduit and power
12. HVAC Controls will need to be coordinated with Johnson Control
13. New rubber treads on one of the sets of stairs - See attached drawings “Stair Treads”
14. Cove Base – See attached drawing “Cove base”
15. Electrical/Lighting: Answers will be forth coming in Addendum #2

BID FOR CENTRAL OFFICE RENOVATIONS

PHASE I: \$ _____

PHASE II: \$ _____

PHASE III: \$ _____

HAVC: \$ _____

PLUMBING: \$ _____

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ROOM SCHEDULE									
NO.	NAME	FLOOR	BASE	CEILING	WALL FINISH (PLAN ORIENTATION)				COMMENTS
		FINISH	FINISH	FINISH	NORTH	SOUTH	EAST	WEST	
101	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
102	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
103	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
104	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
105	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
106	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
107	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
108	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
109	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
110	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
111	WORK ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
112	STORAGE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
113	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
114	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
115	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
116	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
117	RECEPTION	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
118	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
119	RR	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
120	SECTION & LOBBY	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
121	ELEC. ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
122	WOMENS RR	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
123	MENS RR	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
124	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
125	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
126	CIRCULATION	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
127	FIRST FLOOR LOBBY	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
128	MAIL ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
129	BREAK ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
130	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
134	ELEV. MECH.	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
135	H.R. LOBBY	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
136	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
137	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
138	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
139	STORAGE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
140	CIRCULATION	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
141	ELECTRICAL	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
142	WOMENS RR	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
143	MENS RR	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
144	BOARD ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
145	STORAGE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
146	BREAK ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
147	BOARD ROOM LOBBY	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
200	SECOND FLOOR LOBBY	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
201	CIRCULATION	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
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208	EXTG JAN	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
209	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
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211	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
212	STORAGE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
213	WORK STATION	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
214	BREAK ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
215	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
216	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
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218	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
219	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
220	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
221	OFFICE	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
222	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P1	P1	P1	P1	
ST 1	EXTG STAIR 1	XTR	XTR	P5 (AS APPLICABLE)	P1	P1	P1	P1	
ST 2	EXTG STAIR 2	XTR	XTR	P5 (AS APPLICABLE)	P1	P1	P1	P1	

PAINT WALLS AND CEILING. EXTG FLOORING TO REMAIN.
PAINT WALLS AND CEILING. EXTG FLOORING AT
LANDINGS TO REMAIN. TREADS TO BE REPLACED PER
RENOVATION NOTES

INTERIOR FINISH SPECIFICATION LEGEND

FLOORING: LVT 1 - LUXURY VINYL TILE MFR: SHAW FLOORING COLLECTION: TERRAIN II STYLE: TERRAIN II 20 MIL 0454V COLOR: ROOT 00568 SIZE: 6 IN X 48 IN THICKNESS: 2.5 MM WEAR LAYER: 20 MIL WARRANTY: 15 YEAR COMMERCIAL LIMITED WARRANTY	RB 1 - RUBBER COVE BASE MFR: TARKETT STYLE: INFLECTION (MW-00-G) WITH 1/2" QUARTER ROUND (QTR-00-A) COLOR: 00 UNFINISHED SIZE: 5 1/4" WITH 1/2" NOTE: TO BE PAINTED TO MATCH EXTG WHITE (P 3)
PAINT: P 1 - (GENERAL WALL PAINT COLOR: 1ST & 2ND FLOOR) MFR: ROSE TALBERT COLOR: 0196 OVERGROWN FINISH: EG-SHEL	P 2 - (EXTERIOR HANDRAILS) MFR: ROSE TALBERT COLOR: CHOCOLATE #H0142 FINISH: GLOSS
P 3 - (BASE) MFR: ROSE TALBERT COLOR: WHITE FINISH: SEMI-GLOSS	P 4 - (INTERIOR DOOR FRAMES) MFR: ROSE TALBERT COLOR: CHOCOLATE #H0142 FINISH: FLAT
P 5 - (GYPSUM CEILING @ INTERIOR STAIRS) MFR: ROSE TALBERT COLOR: WHITE FINISH: FLAT	
ST 1 - (STAIN AT DOORS) MFR: ALGOMA, OR EQUAL FINISH: FACTORY FINISH TO MATCH EXISTING EXEC SUITE DOORS BASIS OF DESIGN: MINWAX EARLY AMERICAN 230 WITH MINIWAX POLYURETHANE CLEAR GLOSS	
CEILING: ACT 1 - ACOUSTICAL CEILING TILE MFR: ARMSTRONG STYLE: #933 COLOR: WHITE SIZE: 2' X 2' GRID: 15/16" PRELUDE WHITE	SOLID SURFACE: SS 1 - COUNTERTOP SOLID SURFACE MFR: TBD* COLOR: TBD*
TOILET PARTITIONS**: PH 1 - TOILET PARTITIONS** MFR: COLUMBIA POLYLIFE STYLE: OVERHEAD BRACED COLOR: PL-120 SANDSPECKLE ** PREFERRED VENDOR: NATIONAL SPECIALTIES CONTACT: NATIONAL SPECIALTIES, 825 GARLAND STREET, COLUMBIA, SC 29201 803.256.9689	
CASEWORK*: GRANITE*: STYLE: GRALLO VERONA THICKNESS: 3 CM EDGE: EASED BACKSPLASH 1*: LOCATION: 4" AT RESTROOMS ONLY TILE: GRANITE STYLE: GRALLO VERONA THICKNESS: 3 CM EDGE: EASED CABINETS*: MFR/SPECIES: ECHELON/MAPLE DOORSTYLE: NORWICH LINEN HARDWARE: 859-35N *PROVIDED BY CAPITAL KITCHEN AND BATH, INSTALLED BY CONTRACTOR UNLESS DIRECTED OTHERWISE CONTACT: CAPITAL KITCHEN AND BATH, 1801 GERVAIS STREET, COLUMBIA, SC 29201 803.254.5889	BACKSPLASH 2*: LOCATION: KITCHEN/BREAK ROOM TILE: 3 X 6 SUBWAY TILE COLOR: WHITE PATTERN: BRICK GROUT: WHITE TRIM: RONDEL PRO100 NOTE: COORDINATE LOCATIONS WITH OWNER

GENERAL INTERIOR FINISH NOTES

- FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.
- FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY.
- ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL MEET THE FOLLOWING REQUIREMENTS FOR NONSPRINKLERED BUILDING PER 2018 IBC EDITION WITH SOUTH CAROLINA MODIFICATIONS, TABLE 803.13, UNLESS NOTED OTHERWISE: CLASS A FOR INTERIOR EXIT STAIRWAYS AND RAMP AND EXIT PASSAGEWAYS, CLASS B FOR CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMP, AND CLASS C FOR ROOMS AND ENCLOSED SPACES. INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS.
- PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED.
- GENERAL CONTRACTOR TO COORDINATE ACOUSTICAL CEILING INSTALLATION WITH MILLWORK PROFILES.
- ALL PRODUCTS SELECTED ARE FOR BASIS OF DESIGN PURPOSES AND EQUAL PRICING EXERCISE. PLEASE ENSURE ANY SUBSTITUTIONS/ALTERNATES ARE REVIEWED WITH OWNER PRIOR TO INSTALLATION.

FLOOR PATTERN KEY

- PT 1, SEE FINISH MATERIAL LEGEND
- PT 2, SEE FINISH MATERIAL LEGEND
- LVT 1, SEE FINISH MATERIAL LEGEND



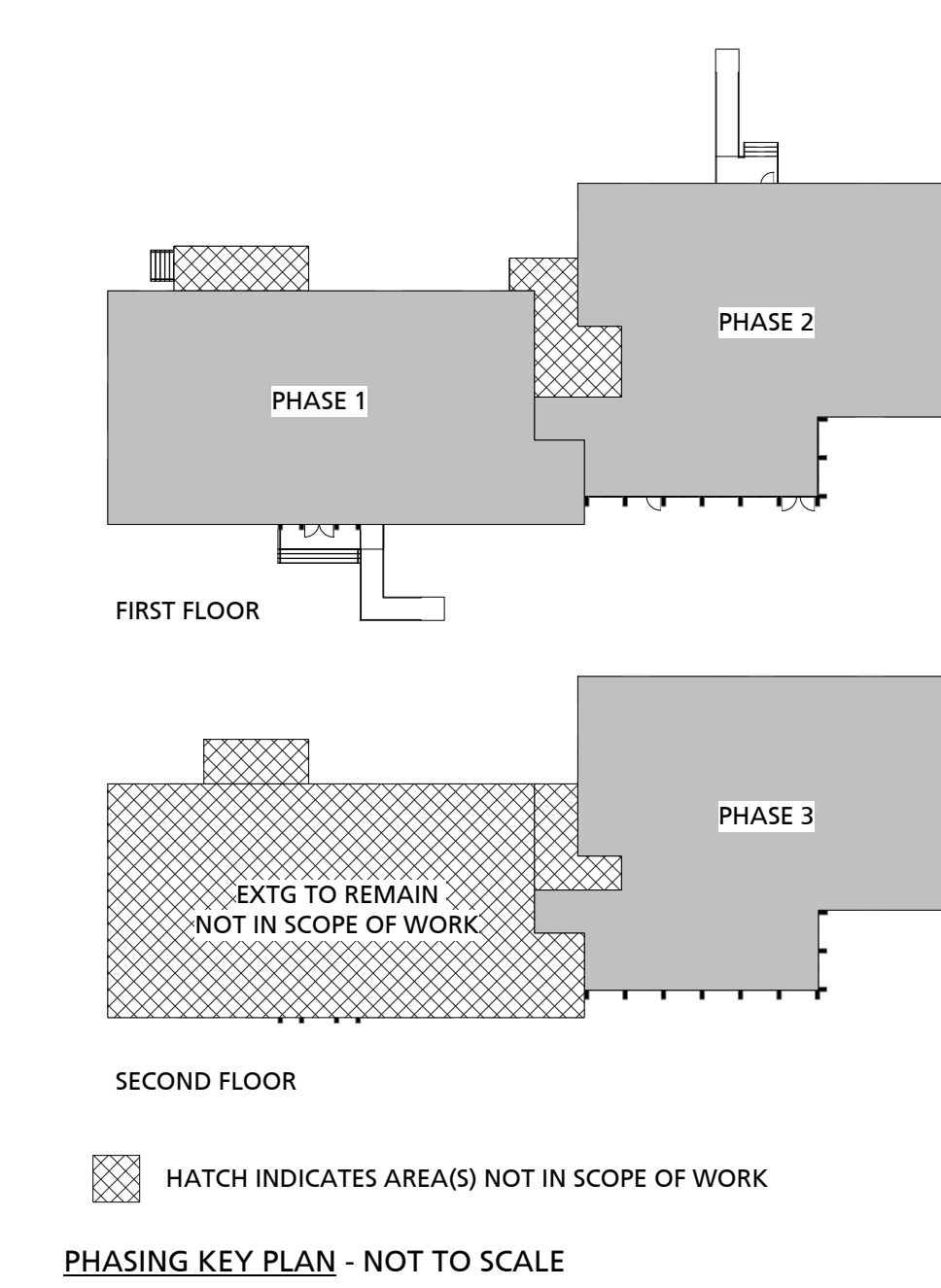
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803.834.4048 p
803.834.4082 f
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COLUMBIA HOUSING AUTHORITY

COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION
1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204

CLIENT NAME		
PROJECT NAME	COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION	
PROJECT ADDRESS	1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204	
PROJECT NUMBER	C-19-066-1	
SHEET NUMBER	A901	
SHEET NAME	FINISH SCHEDULE	
DATE	12.17.20	

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GENERAL FLOOR PLAN NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- DIMENSIONS TO FACE OF EXTERIOR ELEMENT ARE TO DOMINANT FACE OF BRICK, UNLESS NOTED OTHERWISE.
- SEE A500s FOR FINISH SELECTION AND DETAILS.
- ALL EXISTING FIRE-RATED CONSTRUCTION TO REMAIN SHALL NOT BE COMPROMISED.
- ALL ANGLED WALLS ARE AT 45 DEGREES, UNLESS NOTED OTHERWISE.
- FEC SHOWN FOR REFERENCE ONLY. COORDINATE WITH FIRE MARSHALL TO LOCATE ALL REQUIRED FEC IN FIELD. FOR PRICING, ASSUME 8 CABINETS AND EXTINGUISHERS WITHIN SCOPE OF WORK.
- GENERAL CONTRACTOR TO COORDINATE ALL AVV REQUIREMENTS WITH TENANT. SEE G102 FOR PARTITION TYPES AND NOTES.

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FLOOR PLAN LEGEND

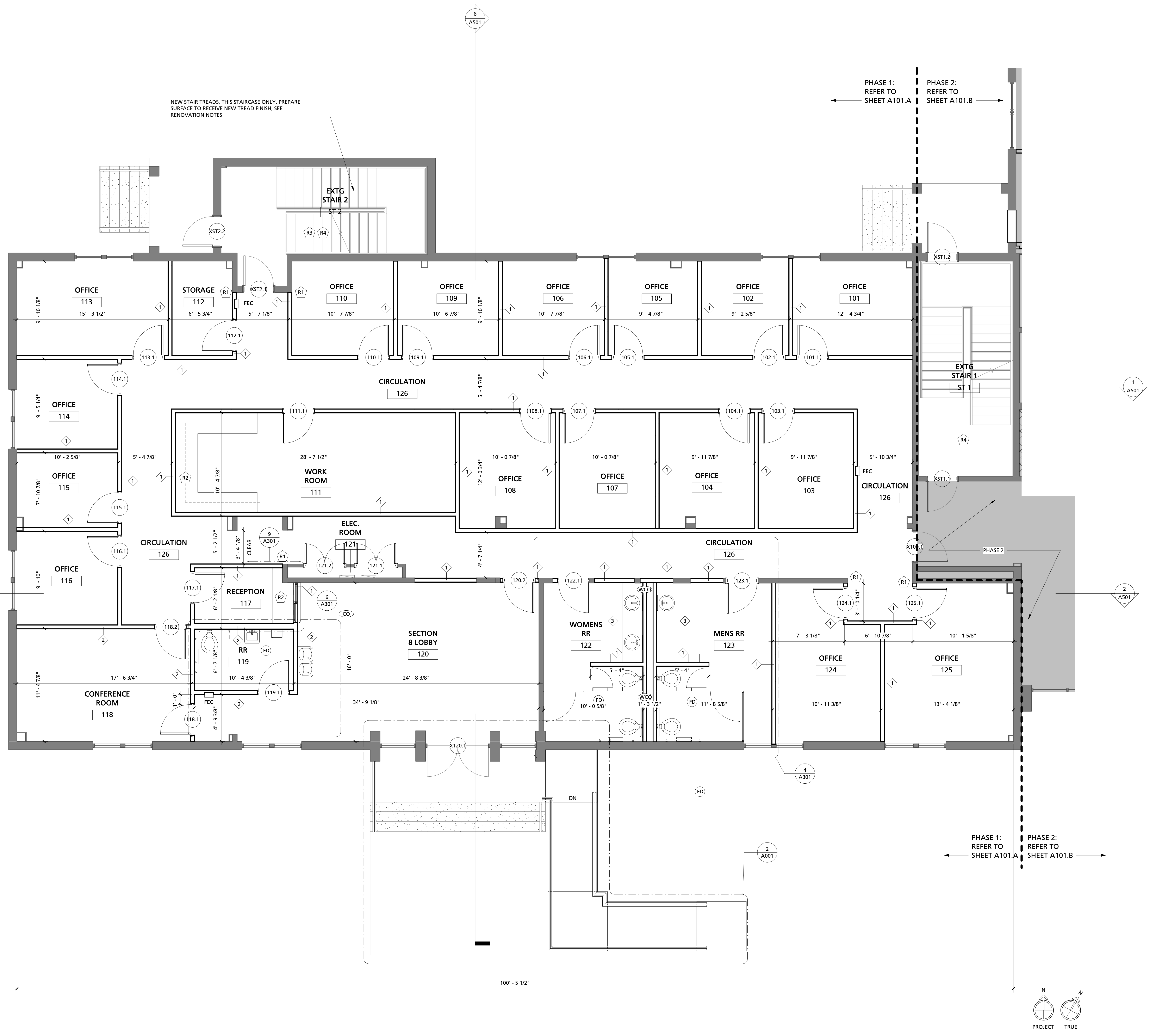
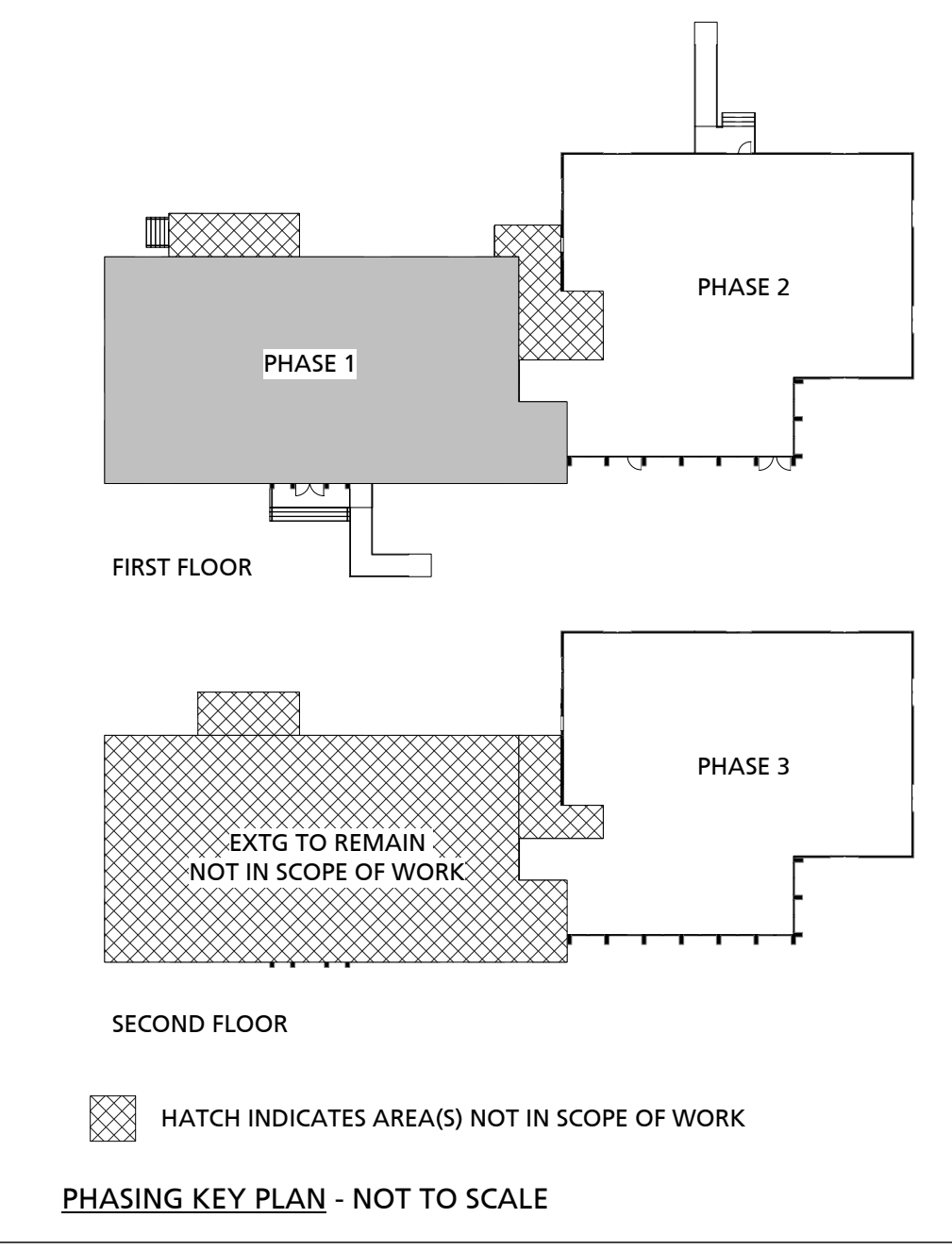
- NEW WALL, SEE PARTITION TYPES
- NEW DOOR, SEE DOOR SCHEDULE
- Room name**
- ROOM TAG, SEE PLAN AND FINISH SCHEDULE
- WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE
- DOOR TAG, SEE PLAN AND DOOR SCHEDULE
- INTERIOR WALL TAG, SEE PARTITION TYPES
- EXTERIOR WALL TAG, SEE EXTERIOR WALL SYSTEMS
- HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK
- WALL CLEAN OUT, SEE PLUMBING
- CLEAN OUT, SEE PLUMBING
- FLOOR DRAIN, SEE PLUMBING

FIRE EXTINGUISHER CABINETS

- FIRE EXTINGUISHER CABINET (FEC-1):
- MFR: LARSEN'S
 - STYLE: ARCHITECTURAL SERIES
 - DOOR STYLE: VERTICAL DUO WITH CLEAR ACRYLIC
 - LETTERING: TYPE A, COLOR TO BE SELECTED BY OWNER
 - MATERIAL: STAINLESS STEEL
 - TRIM: ROLLED, 4" MAXIMUM FROM WALL SURFACE TO OUTERMOST PROJECTION
 - FIRE EXTINGUISHER TYPE: 10 LBS CAPACITY

RENOVATION KEY NOTE LEGEND

- FLOOR PLAN:**
- ALIGN FINISHED FACE OF WALLS
 - CASEWORK PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
 - PROVIDE NEW RUBBER STAIR TREADS, THIS STAIRCASE ONLY (STAIR 2). BASIS OF DESIGN: TARKETT. ANGLE FIT RUBBER STAIR TREAD, HAMMERED TEXTURE WITH GRIT TAPE. TREAD COLOR AND GRIT TAPE COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.
 - PAINT WALLS AND CEILING, SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.
- REFLECTED CEILING PLAN:**
- PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.



1 FIRST FLOOR- PHASE 1 RENOVATION PLAN
 1/4" = 1'-0"

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COLUMBIA HOUSING AUTHORITY
 COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION
 1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204

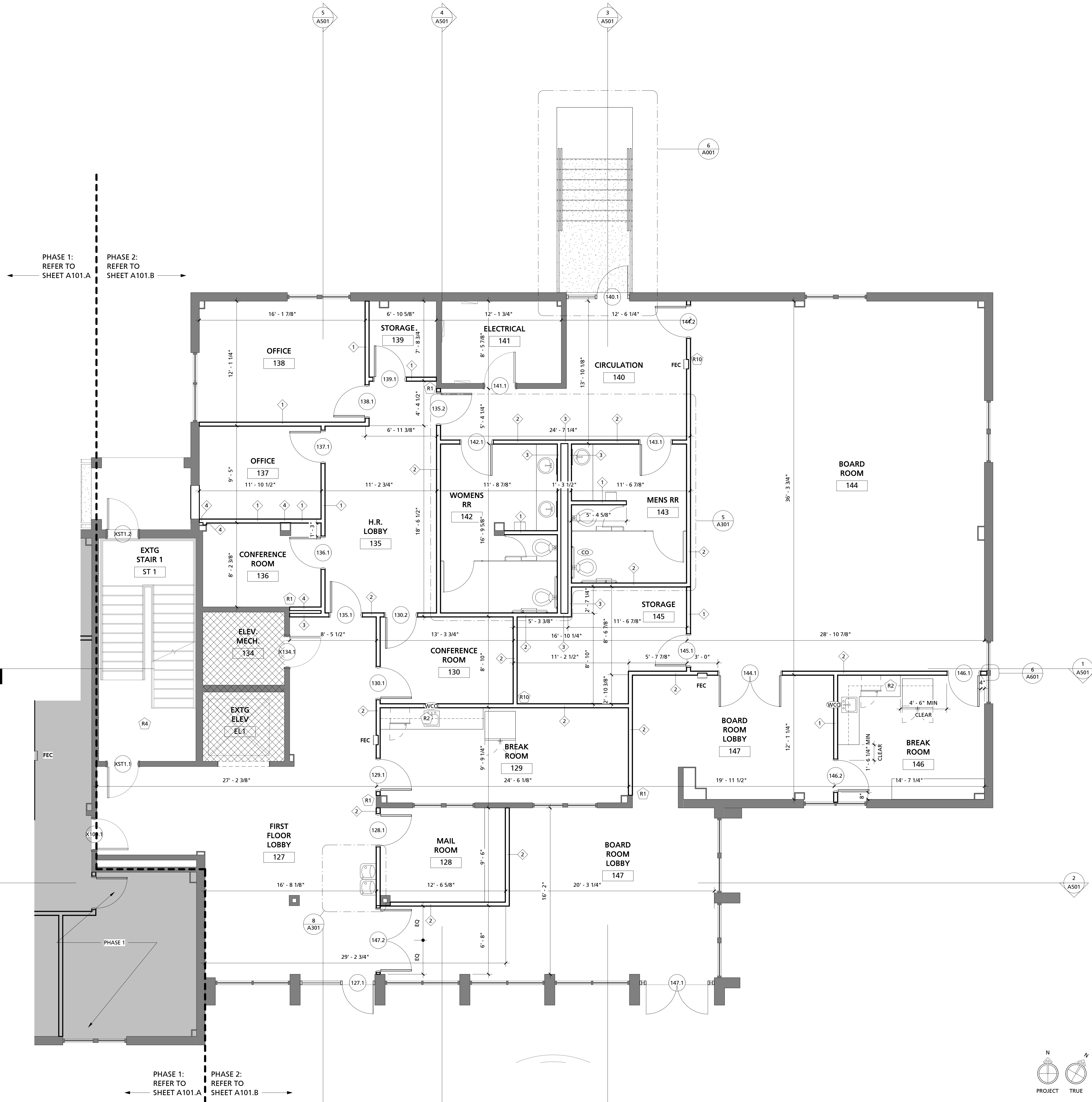
CLIENT NAME	PROJECT NAME	PROJECT ADDRESS

REVISIONS	No.	Description	Date
1	ADDENDUM #1		01.11.2021

PROJECT NUMBER	SHEET NUMBER	SHEET NAME	DATE
C-19-066-1	A101.A	FLOOR PLANS	12.17.20

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1 FIRST FLOOR - PHASE 2 RENOVATION PLAN
1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
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- FEC SHOWN FOR REFERENCE ONLY. COORDINATE WITH FIRE MARSHALL TO LOCATE ALL REQUIRED FEC IN FIELD. FOR PRICING, ASSUME 8 CABINETS AND EXTINGUISHERS WITHIN SCOPE OF WORK.
- GENERAL CONTRACTOR TO COORDINATE ALL A/V REQUIREMENTS WITH TENANT. SEE G102 FOR PARTITION TYPES AND NOTES.

FLOOR PLAN LEGEND

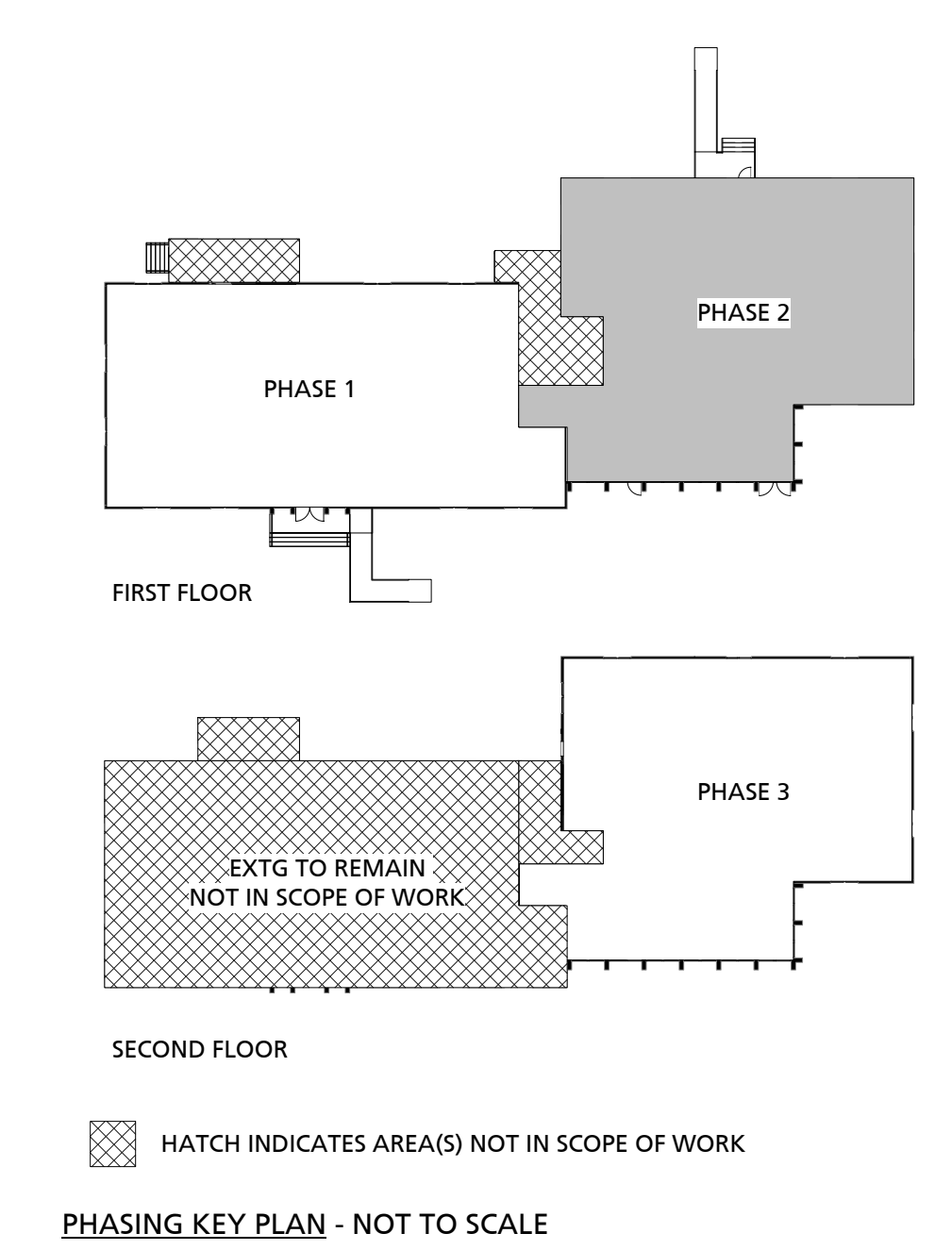
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COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION
1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204

REVISIONS		
No.	Description	Date
1	ADDENDUM #1	01.11.2021

PROJECT NUMBER: C-19-066-1

SHEET NUMBER: **A101.B**

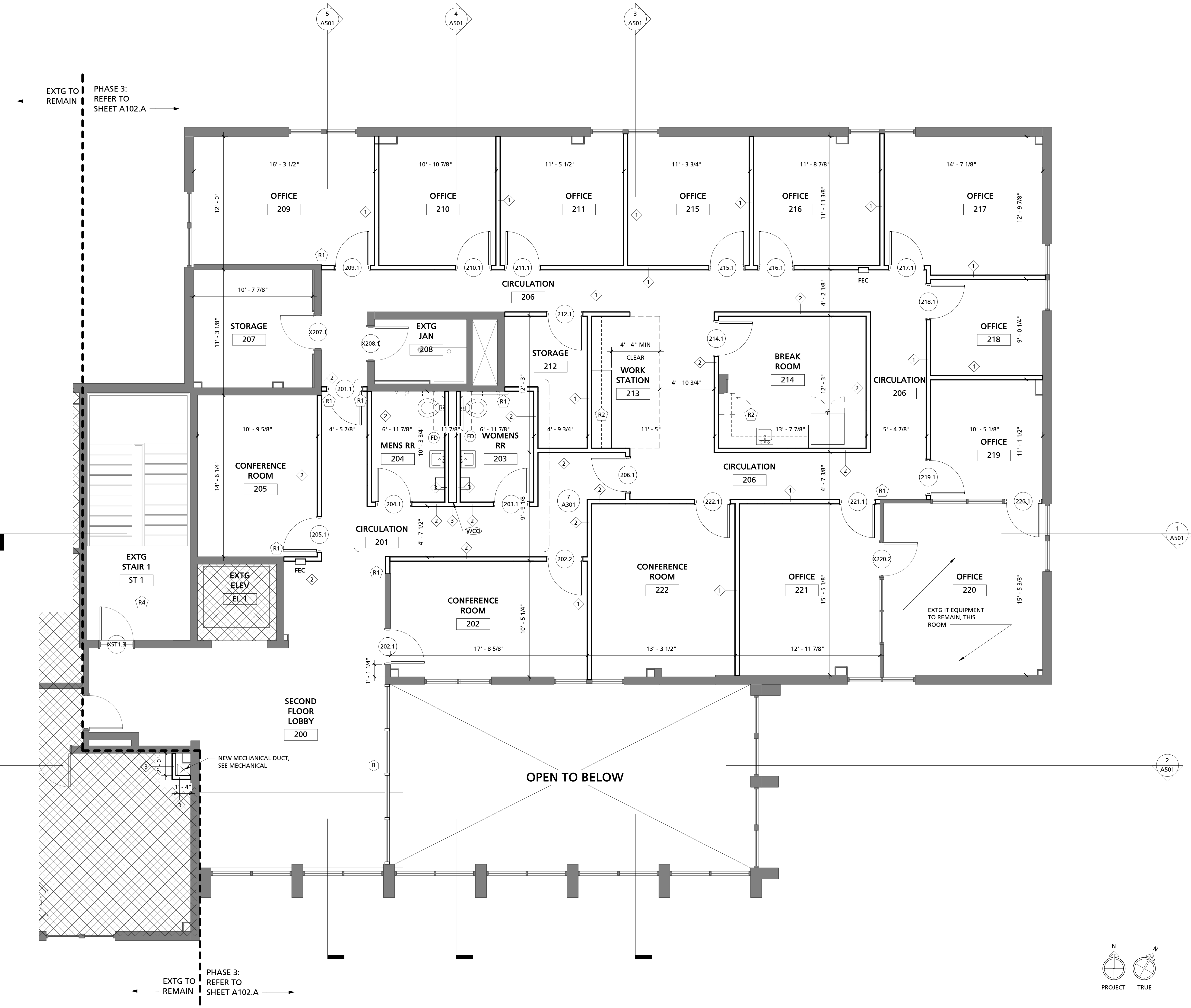
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DATE: 12.17.20

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1 SECOND FLOOR - PHASE 3 RENOVATION PLAN
1/4" = 1'-0"

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- GENERAL CONTRACTOR TO COORDINATE ALL AVV REQUIREMENTS WITH TENANT. SEE G102 FOR PARTITION TYPES AND NOTES.

FLOOR PLAN LEGEND

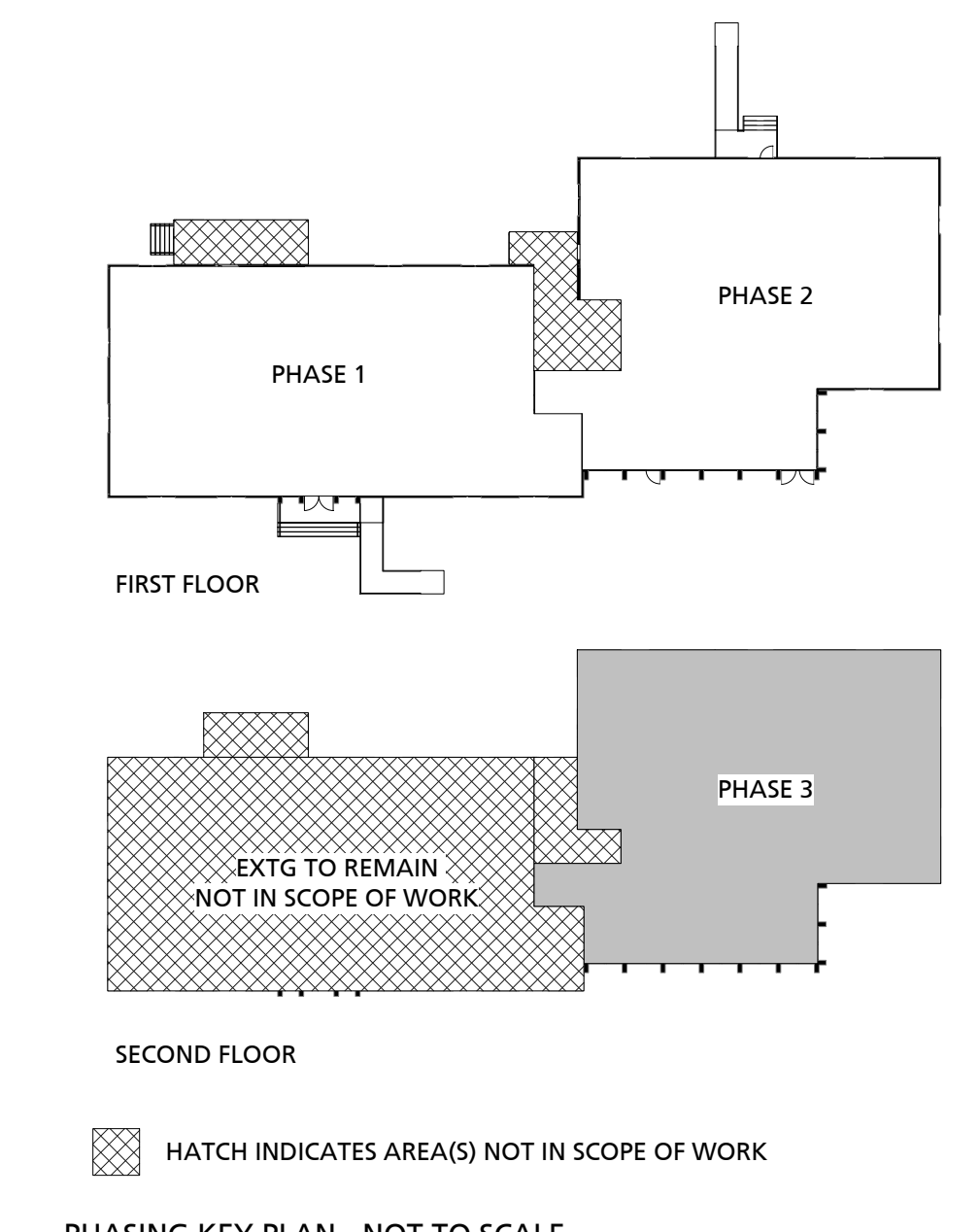
- NEW WALL, SEE PARTITION TYPES
- NEW DOOR, SEE DOOR SCHEDULE
- Room name**
- ROOM TAG, SEE PLAN AND FINISH SCHEDULE
- WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE
- DOOR TAG, SEE PLAN AND DOOR SCHEDULE
- INTERIOR WALL TAG, SEE PARTITION TYPES
- EXTERIOR WALL TAG, SEE EXTERIOR WALL SYSTEMS
- HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK
- WALL CLEAN OUT, SEE PLUMBING
- CLEAN OUT, SEE PLUMBING
- FLOOR DRAIN, SEE PLUMBING

FIRE EXTINGUISHER CABINETS

- FIRE EXTINGUISHER CABINET (FEC-1):
- MFR: LARSEN'S
 - STYLE: ARCHITECTURAL SERIES
 - DOOR STYLE: VERTICAL DUO WITH CLEAR ACRYLIC
 - LETTERING: TYPE A, COLOR TO BE SELECTED BY OWNER
 - MATERIAL: STAINLESS STEEL
 - TRIM: ROLLED, 4" MAXIMUM FROM WALL SURFACE TO OUTERMOST PROJECTION
 - FIRE EXTINGUISHER TYPE: 10 LBS CAPACITY

RENOVATION KEY NOTE LEGEND

- FLOOR PLAN:**
- ALIGN FINISHED FACE OF WALLS
 - CASEWORK PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
 - PROVIDE NEW RUBBER STAIR TREADS, THIS STAIRCASE ONLY (STAIR 2). BASIS OF DESIGN: TARKETT: ANGLE FIT RUBBER STAIR TREAD, HAMMERED TEXTURE WITH GRIT TAPE. TREAD COLOR AND GRIT TAPE COLOR TO BE SELECTED FROM MANUFACTURER'S FULL RANGE.
 - PAINT WALLS AND CEILING, SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.
- REFLECTED CEILING PLAN:**
- PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.



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COLUMBIA HOUSING AUTHORITY

COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION
1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204

CLIENT NAME		
PROJECT NAME	COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION	
PROJECT ADDRESS	1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204	
PROJECT NUMBER	C-19-066-1	
SHEET NUMBER	A102.A	
SHEET NAME	FLOOR PLANS	
DATE	12.17.20	
17/2021 3:56:19 PM		

RELEASED FOR PLAN REVIEW AND PRICING-DECEMBER 17, 2020

NO.	DESCRIPTION	DATE
1	ADDENDUM #1	01.11.2021

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GENERAL REFLECTED CEILING PLAN NOTES

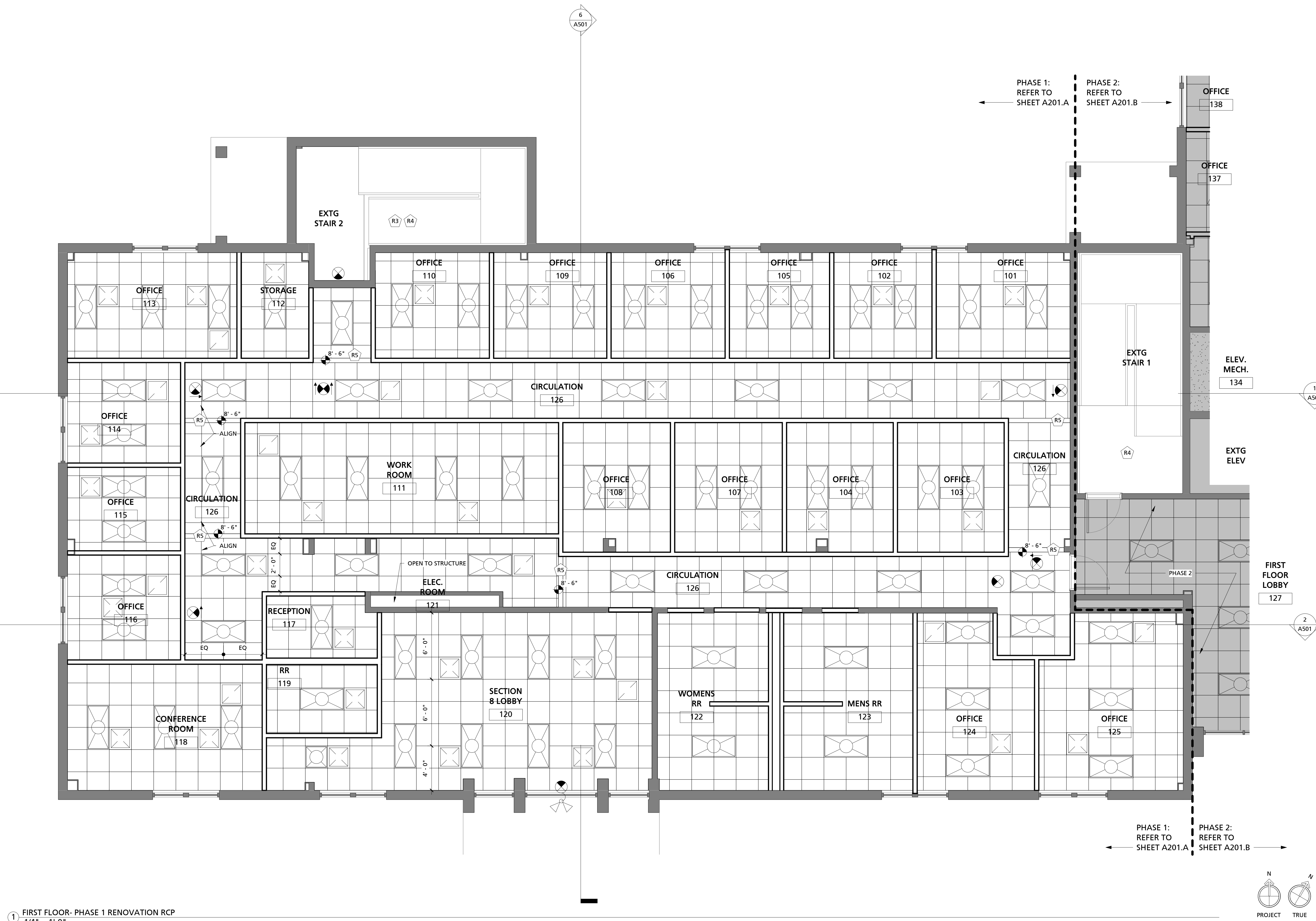
- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS.
- ALL GWB CEILINGS TO BE PAINTED FLAT CEILING WHITE, UNLESS NOTED OTHERWISE.
- SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS.
- SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS.
- CEILING HEIGHT TO BE 9'-0" AFF UNLESS NOTED OTHERWISE.
- COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED.
- EXIT SIGNS

REFLECTED CEILING PLAN LEGEND

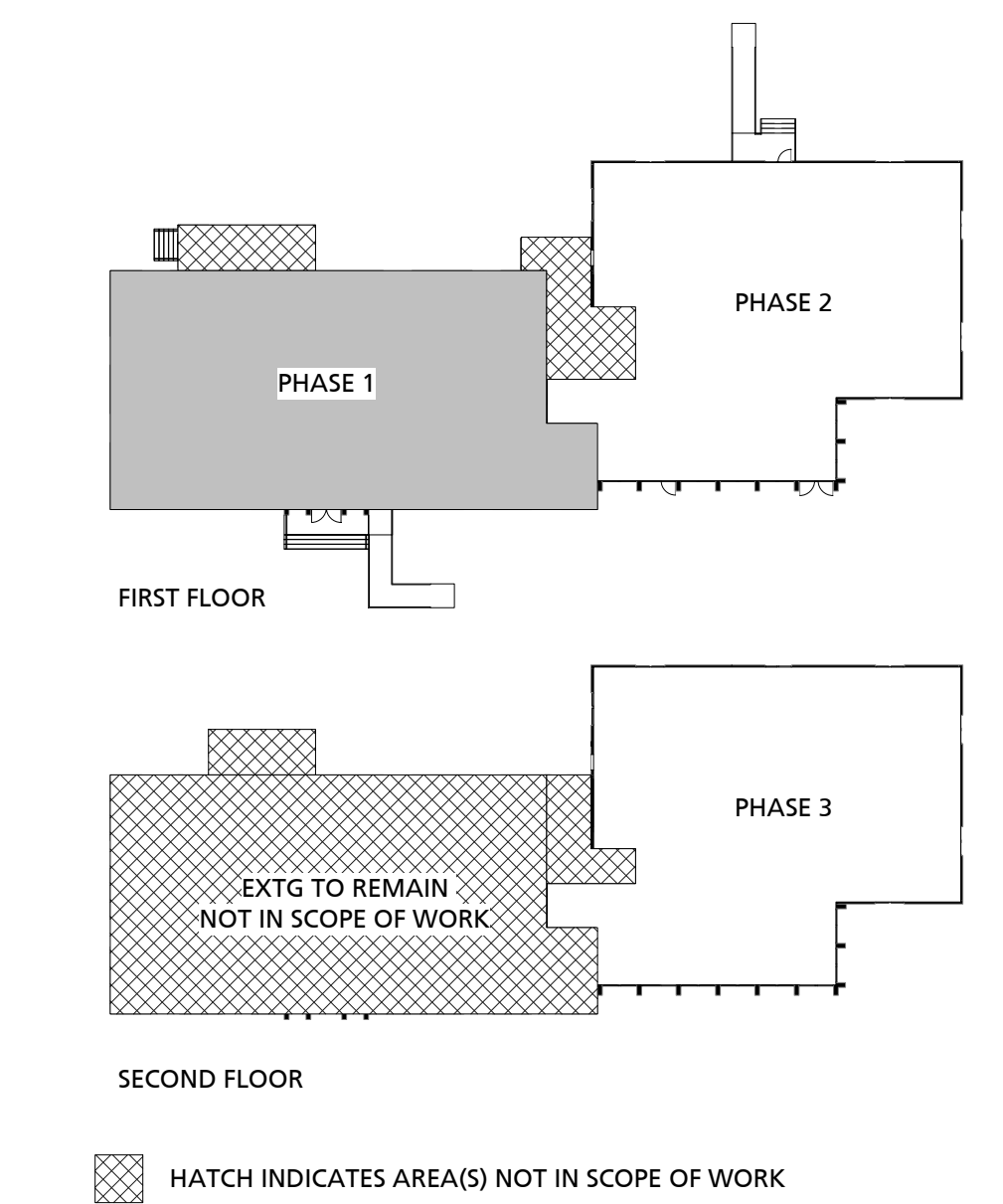
- 2'x2' ACOUSTICAL PANEL CEILING (APC) (NEW), HEIGHT VARIES.
- 2'x4' ACOUSTICAL PANEL CEILING (APC) (NEW), HEIGHT VARIES.
- SUPPLY DIFFUSER, SEE MECHANICAL.
- RETURN REGISTER, SEE MECHANICAL.
- 2'x4' LIGHTING FIXTURE, SEE ELECTRICAL
- 2'x2' LIGHTING FIXTURE, SEE ELECTRICAL
- 2'x4' DOWN LIGHTING FIXTURE, SEE ELECTRICAL
- EXIT SIGN, SEE ELECTRICAL
- HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

RENOVATION KEY NOTE LEGEND

- FLOOR PLAN:**
- R1 ALIGN FINISHED FACE OF WALLS
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 - R4 PAINT WALLS AND CEILING. SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.
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1 FIRST FLOOR- PHASE 1 RENOVATION RCP
1/4" = 1'-0"



PHASING KEY PLAN - NOT TO SCALE

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COLUMBIA HOUSING AUTHORITY

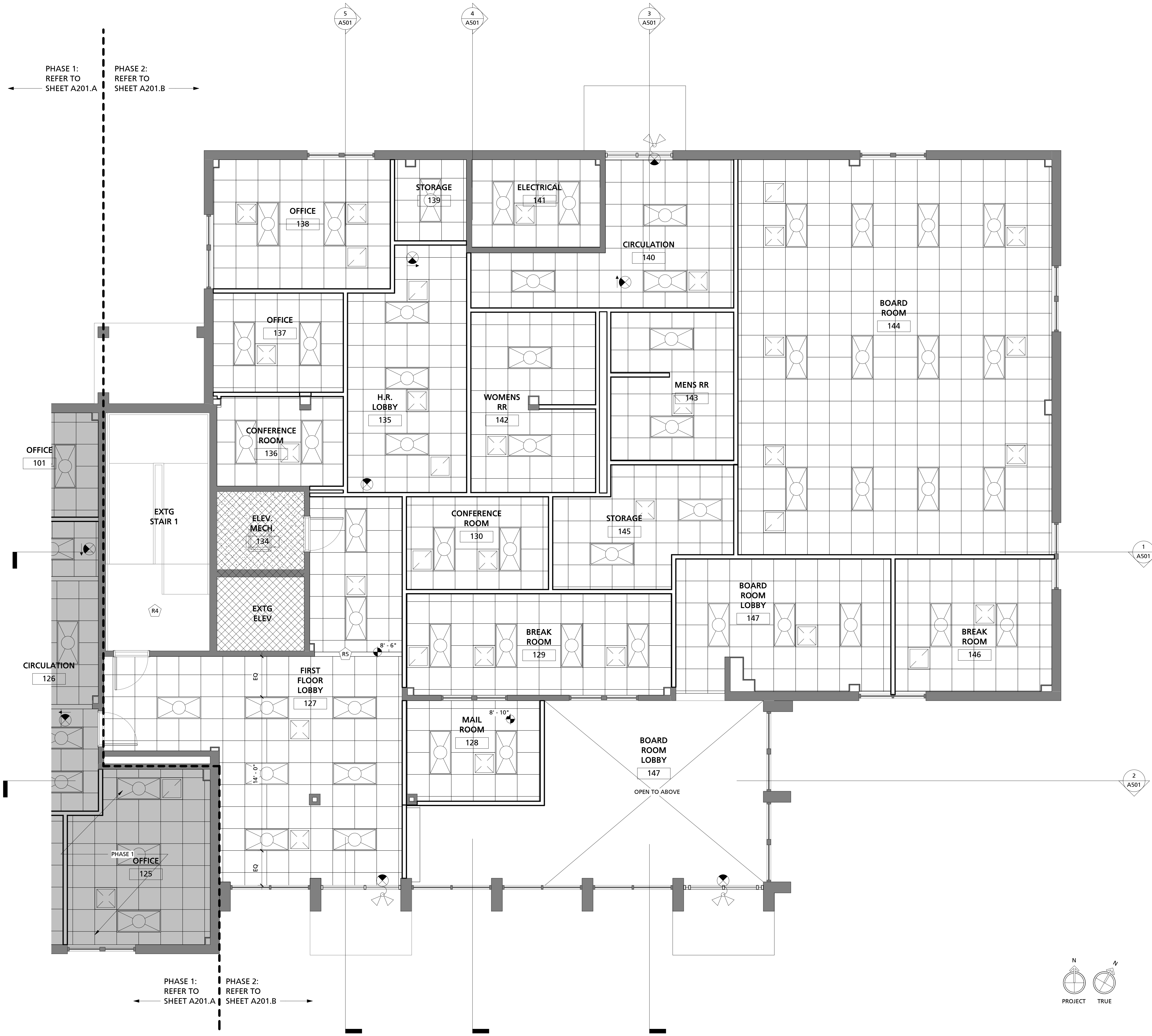
COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION
1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204

REVISIONS		PROJECT NUMBER
No.	Description	Date
1	ADDENDUM #1	01.11.2021

PROJECT NUMBER: C-19-066-1
SHEET NUMBER: A201.A
SHEET NAME: REFLECTED CEILING PLAN
DATE: 12.17.20

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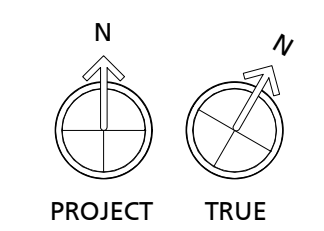
1 FIRST FLOOR- PHASE 2 RENOVATION RCP
1/4" = 1'-0"

PHASE 1:
REFER TO
SHEET A201.A

PHASE 2:
REFER TO
SHEET A201.B

PHASE 1:
REFER TO
SHEET A201.A

PHASE 2:
REFER TO
SHEET A201.B



GENERAL REFLECTED CEILING PLAN NOTES

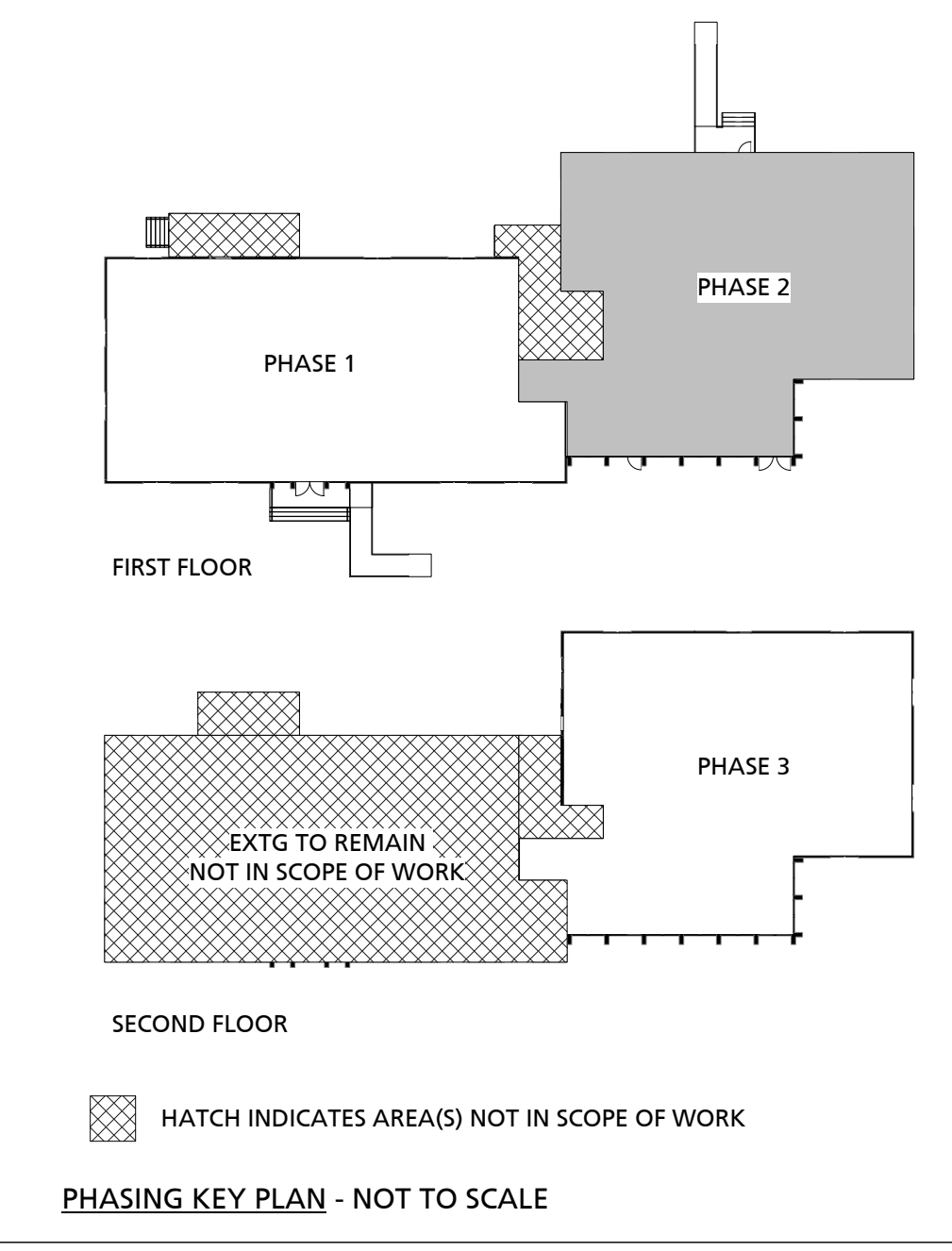
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- SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS.
- SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS.
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- EXIT SIGNS

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No.	Description	Date
1	ADDENDUM #1	01.11.2021

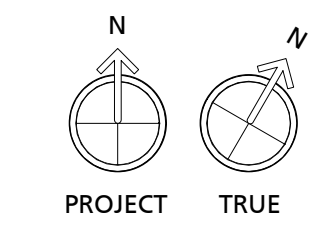
PROJECT NUMBER: C-19-066-1
SHEET NUMBER: A201.B
SHEET NAME: REFLECTED CEILING PLAN
DATE: 12.17.20

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1 SECOND FLOOR - PHASE 3 RENOVATION RCP
1/4" = 1'-0"



GENERAL REFLECTED CEILING PLAN NOTES

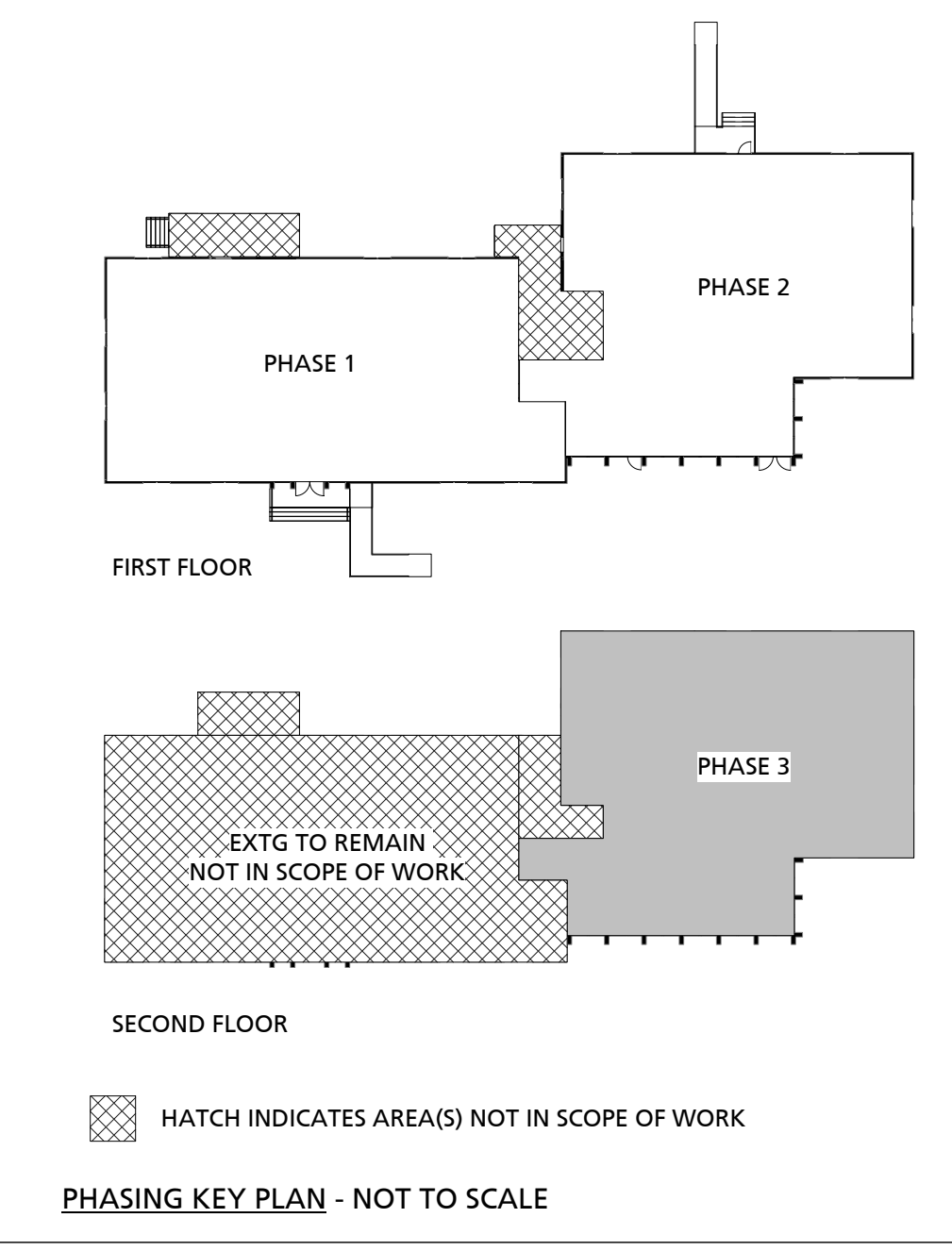
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PHASING KEY PLAN - NOT TO SCALE



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 COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION
 1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204

REVISIONS		
No.	Description	Date
1	ADDENDUM #1	01.11.2021

PROJECT NUMBER: C-19-066-1
SHEET NUMBER: **A202.A**
SHEET NAME: REFLECTED CEILING PLAN
DATE: 12.17.20

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